

**VICINITY MAP**

**PROJECT DATA**

SITE ADDRESS: 4027 93RD AVE SE, MERCER ISLAND, WA 98040  
 PARCEL: 003100-0095  
 PROPERTY OWNER: SAM CHUNG  
 PHONE NUMBER: 415-202-3226  
 EMAIL: KATECHUNG@GMAIL.COM  
 APPLICANT: STEVE JOO  
 PHONE NUMBER: 206-306-6738  
 EMAIL: STEVE.JOO@HOTMAIL.COM

LOT SIZE: 8,575 SQ. FT.

**LEGAL DESCRIPTION:**  
 ACERSON PARK ADD 19 LESS N 28 FT & 42 FT OF 20  
 Plat Block: A  
 Plat Lot: 19-20

**LOT ZONING: R-8.4**  
 MAXIMUM LOT COVERAGE ( BUILDING AND DRIVING SURFACES):  
 40% (LOT SLOPE LESS THAN 15% )  
 MAXIMUM GROSS FLOOR AREA: 40%  
 MAXIMUM BUILDING HEIGHT: 30 FEET  
 PROPOSED PARKING: 1 COVERED AND 1 UNCOVERED  
 1 COVERED STALL IS REQUIRED ( UNDER 3,000 SQ. FT. GFA )

**GROSS FLOOR AREA**

LOT AREA	8,575 SQ. FT.
EXISTING FINISHED AREA	1,630 SQ. FT.
EXISTING GARAGE AREA CONVERGED TO LIVING AREA	480 SQ. FT.
PROPOSED ADDITION ( DETACHED GARAGE )	318 SQ. FT.
NEW GROSS FLOOR AREA	2,428 SQ. FT.
2,428 / 8,575 X 100 = 28.3%	

**LOT COVERAGE**

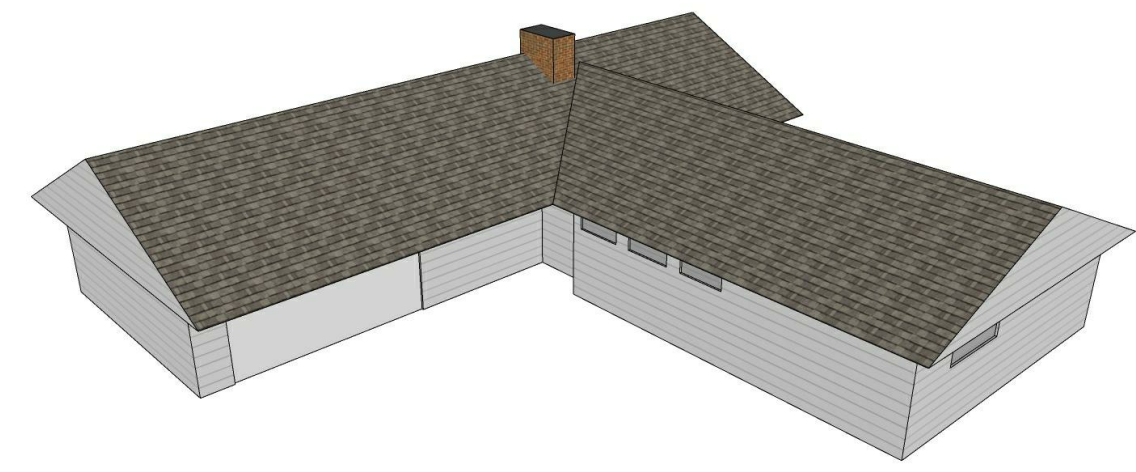
**EXISTING ( HOUSE BUILT IN YEAR 1954 )**

ALL ROOVES( INCLUDING EAVES )	2,619 SQ. FT.
DRIVEWAY( ASPHALT )	893 SQ. FT.
COVERED PATIO( CONCRETE )	0 SQ. FT.
TOTAL	3,512 SQ. FT.
3,512 / 8,575 X 100 = 40.96% ( HOUSE BUILT IN YEAR 1954 )	

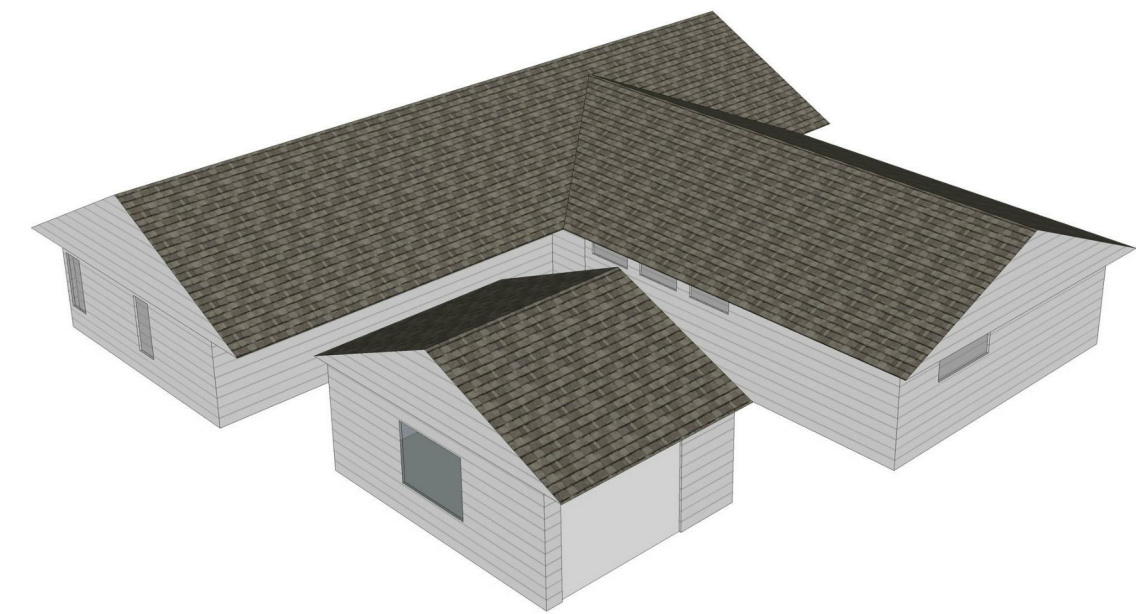
**PROPOSED**

ALL ROOVES( INCLUDING EAVES )	2,619 SQ. FT.
DRIVEWAY( ASPHALT )	465 SQ. FT.
DETACHED GARAGE ROOF WITHIN EXISTING DRIVEWAY FOOTPRINT	356 SQ. FT.
COVERED PATIO( CONCRETE )	0 SQ. FT.
TOTAL	3,440 SQ. FT.
3,440 / 8,575 X 100 = 40.12%	

NO NEW LOT COVERAGE IS PROPOSED. PROPOSED DETACHED GARAGE IS IN THE SAME FOOTPRINT OF THE EXISTING DRIVEWAY.



**EXISTING HOUSE**



**PROPOSED ADDITION**

HVAC, PLUMBING, ELECTRICAL ARE UNDER SEPARATE PERMITS

**LINETYPE LEGEND**

---	PROPERTY LINE
○	FILTER FABRIC FENCE
---	EXISTING GRADE LINE

**AVERAGE BUILDING ELEVATION 2 ( ABE2 )  
PROPOSED DETACHED GARAGE**

MIDPOINT ELEVATION	WALL SEGMENT LENGTH
J = 312.0 feet	j = 15.99 feet
K = 312.5 feet	k = 20.00 feet
M = 312.7 feet	m = 15.99 feet
N = 312.3 feet	n = 20.00 feet
$ABE = \frac{(312.0)(15.99) + (312.5)(20.00) + (312.7)(15.99) + (312.3)(20.00)}{(15.99+20.00+15.99+20.00)}$ = 22,484.95 / 71.98 = <b>312.38 feet</b>	

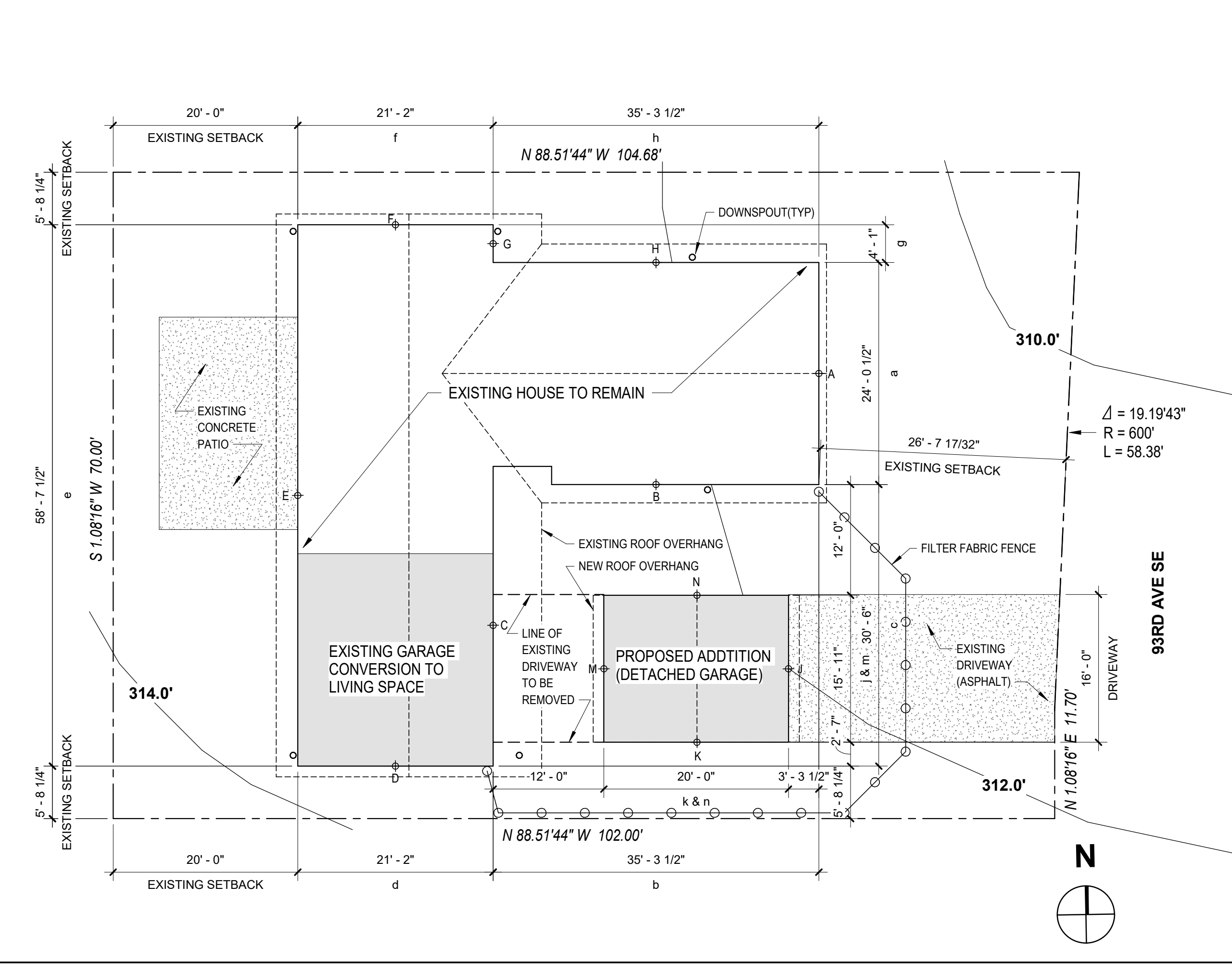
**AVERAGE BUILDING ELEVATION 1 ( ABE1 )  
EXISTING HOUSE**

MIDPOINT ELEVATION	WALL SEGMENT LENGTH
A = 311.5 feet	a = 24.04 feet
B = 312.4 feet	b = 35.29 feet
C = 313.0 feet	c = 30.50 feet
D = 313.6 feet	d = 21.16 feet
E = 313.3 feet	e = 58.63 feet
F = 312.7 feet	f = 21.16 feet
G = 312.5 feet	g = 4.08 feet
H = 312.2 feet	h = 35.29 feet
$ABE = \frac{(311.5)(24.04) + (312.4)(35.29) + (313.0)(30.50) + (313.6)(21.16) + (313.3)(58.63) + (312.7)(21.16) + (312.5)(4.08) + (312.2)(35.29)}{(24.04+35.29+30.50+21.16+58.63+21.16+4.08+35.29)}$ = 71,973.38 / 230.15 = <b>312.72 feet</b>	

**1 SITE PLAN PROPOSED**

**2 SITE PLAN EXISTING**

1" = 10'-0"



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**STRUCTURAL ENGINEER:**  
**SUNG CHO**  
 206-235-8886  
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**CHUNG RESIDENCE ADDITION**  
 4027 93RD AVE SE  
 MERCER ISLAND WA 98040

8419 REGISTERED ARCHITECT  
 SEKWANG JOO  
 STATE OF WASHINGTON  
 EXPIRES 04 / 10 / 2021

**ISSUE**

MARK	DATE	DESCRIPTION
1	Date 1	Revision 1

DRAWN BY: PROJ ARCH:  
 PROJ NO.:  
 DATE:

DWG.  
**SITE PLAN & TESC PLAN**

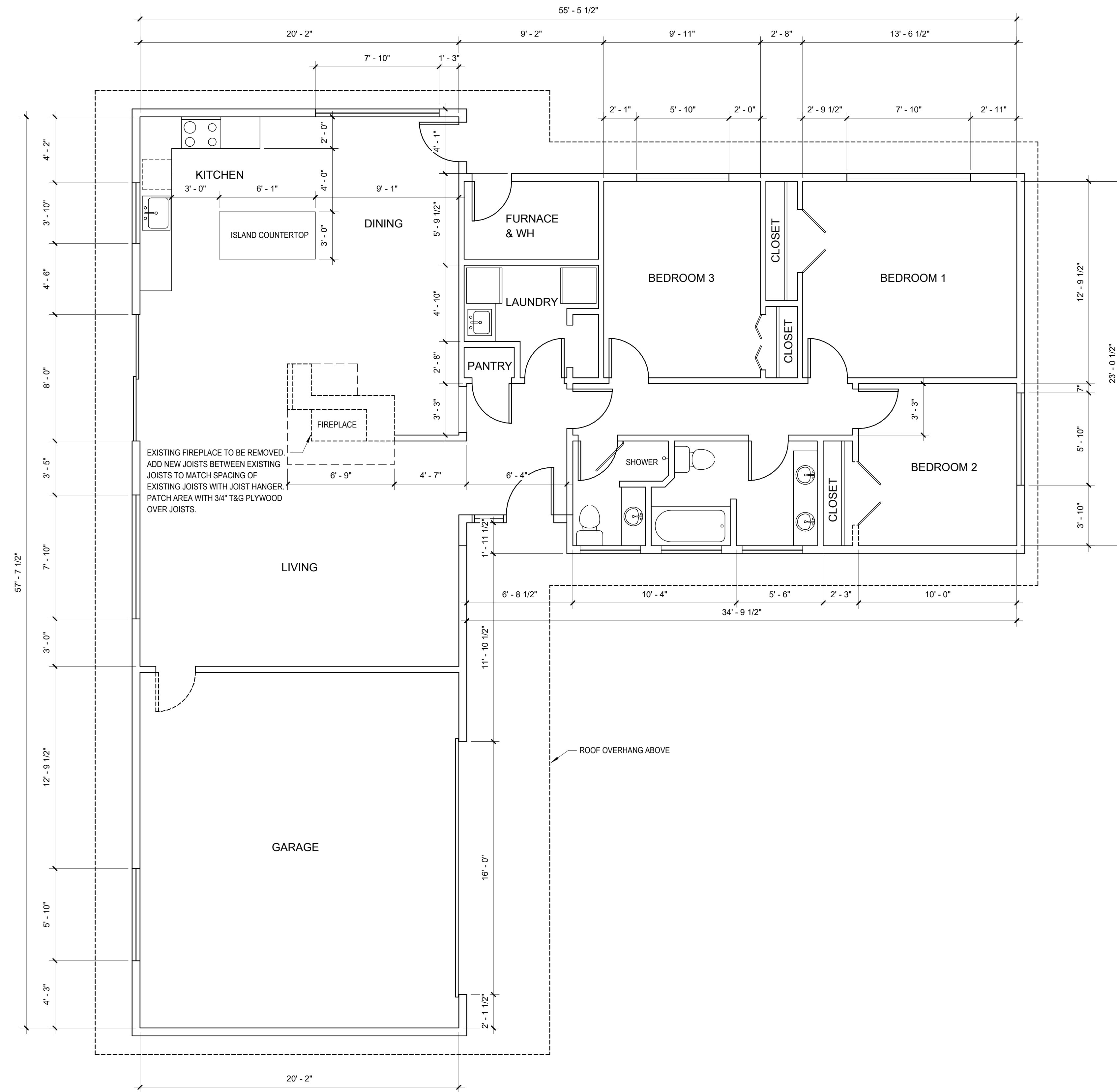
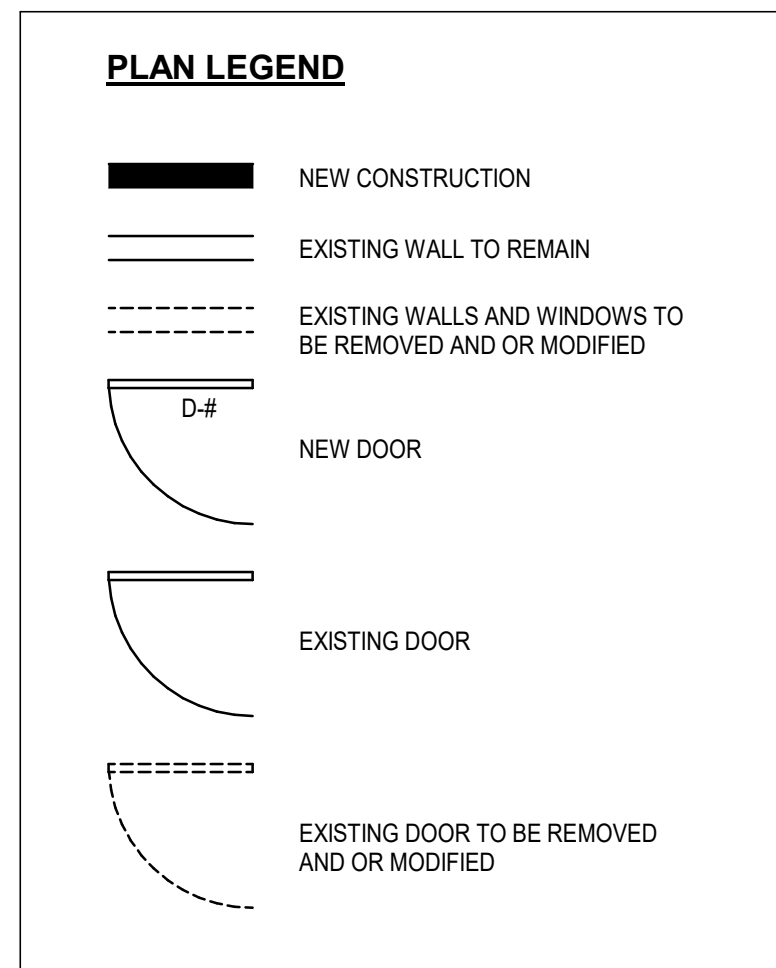
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**A-1**



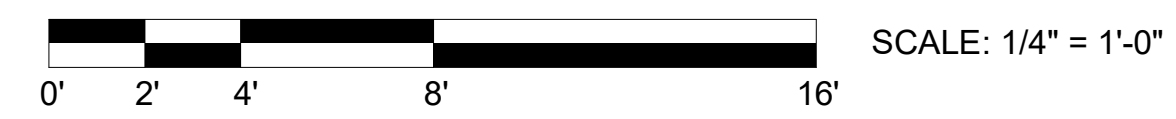
NOTE:  
THE CONSTRUCTION DOCUMENTS REPRESENTED HEREIN ARE BASED ON NON-INVASIVE SITE OBSERVATION OF THE EXISTING STRUCTURAL CONDITIONS OF THE PROPOSED PROJECT. AS A RESULT, IN CERTAIN INSTANCES, DESIGN ASSUMPTIONS WERE USED TO FORMULATE THE COMPATIBILITY OF THE NEW CONSTRUCTION WITH THE EXISTING STRUCTURAL ELEMENTS. DURING THE COURSE OF CONSTRUCTION, IT IS POSSIBLE THAT CONDITIONS MAY BE ENCOUNTERED THAT DO NOT COINCIDE WITH THE DESIGN ASSUMPTIONS AND MAY REQUIRE FURTHER STRUCTURAL REVIEW TO DETERMINE ADEQUACY. THE BUILDER SHALL BE OBSERVANT OF THESE CONDITIONS AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING FURTHER WITH THE WORK.

**GENERAL NOTES**

- VERIFY IN THE FIELD ALL DIMENSIONS OF EXISTING CONDITION
- CONSTRUCTION TO COMPLY WITH THE 2015 IRC
- NEW 2X6 EXTERIOR STUD WALLS @ 24" O.C. STACKED FRAMED
- NEW 2X4 INTERIOR STUD WALLS @ 16" O.C. UNLESS NOTED OTHERWISE
- BEARING AND HEADERS TO BE 6X8 #2 DF OR 4X10 #2 DF FURRED-OUT
- FIREBLOCK ALL PLUMBING PENETRATIONS
- PROVIDE SOLID BLOCKING OVER BEAMS & BEARING WALLS
- ALL HANGER TO BE SIMPSON OR EQUAL
- BEDROOMS TO HAVE AT LEAST ONE OPERABLE WINDOW NET CLEAR OPENING OF 5.7 SQ. FT. MIN. WITH A NET CLEAR OPENING HT. OF 24" MIN. AND NET CLEAR OPENING WIDTH OF 20" MIN. AND A FINISHED SILL HEIGHT OF NOT MORE THAN 44" ABOVE FINISH FLOOR.
- FIREPLACES AND STOVES MUST BE D.O.E. APPROVED AND BE TESTED, CERTIFIED & LABELED AS SUITABLE FOR USE DURING A FIRST STAGE BURN BAN
- ALL LUMBER EXPOSED TO WEATHER OR CONCRETE TO BE PRESSURE TREATED OR CEDAR



**1** EXISTING FLOOR PLAN  
1/4" = 1'-0"



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**CHUNG  
RESIDENCE  
ADDITION**

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98040

8419 REGISTERED ARCHITECT

*Sekwang Joo*

SEKWANG JOO  
STATE OF WASHINGTON

EXPIRES 04 / 10 / 2021

**ISSUE**

MARK	DATE	DESCRIPTION

DRAWN BY: \_\_\_\_\_ PROJ. ARCH: \_\_\_\_\_

PROJ. NO.: \_\_\_\_\_

DATE: **12/17/2016**

DWG.  
**EXISTING FLOOR PLAN**

DWG.  
**A-2**



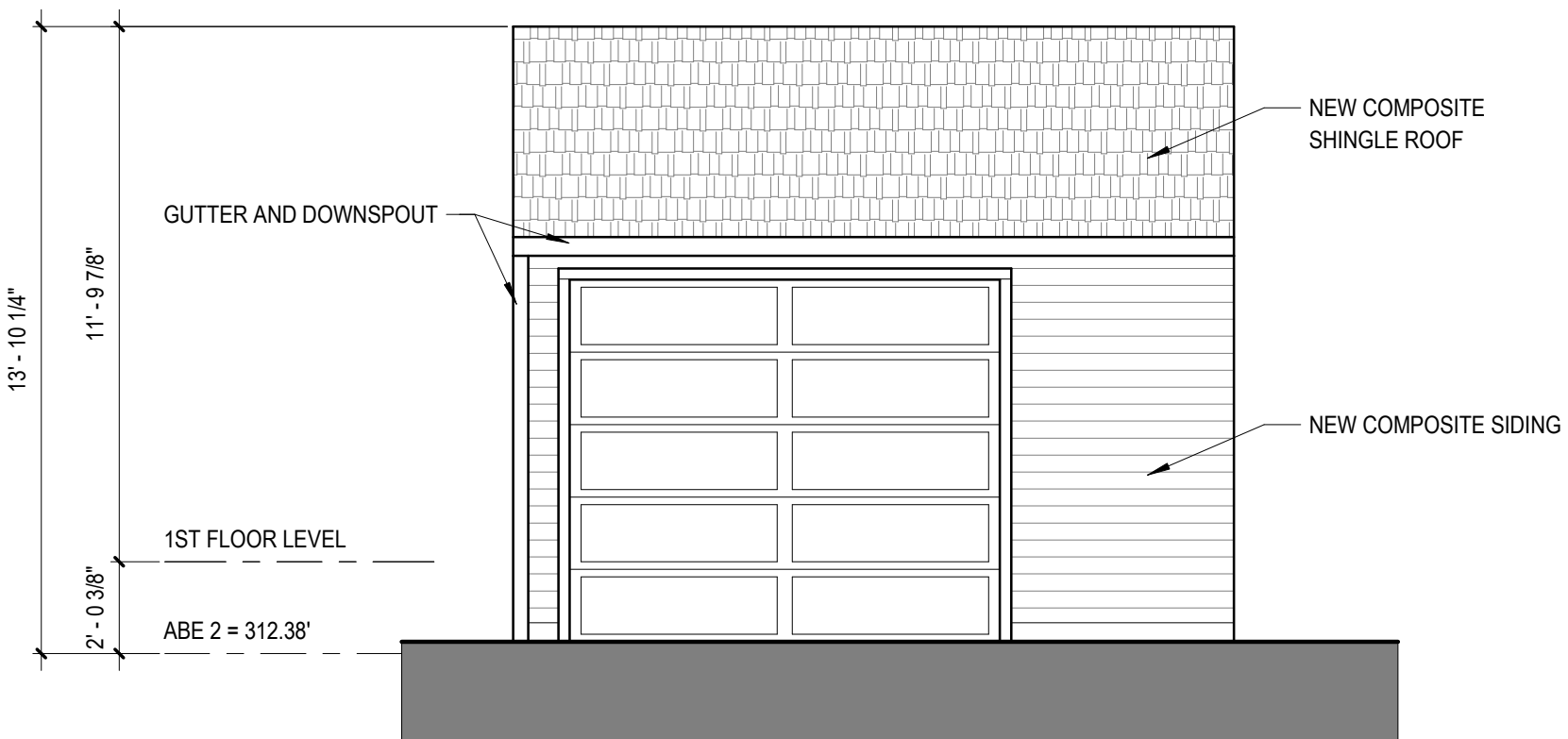




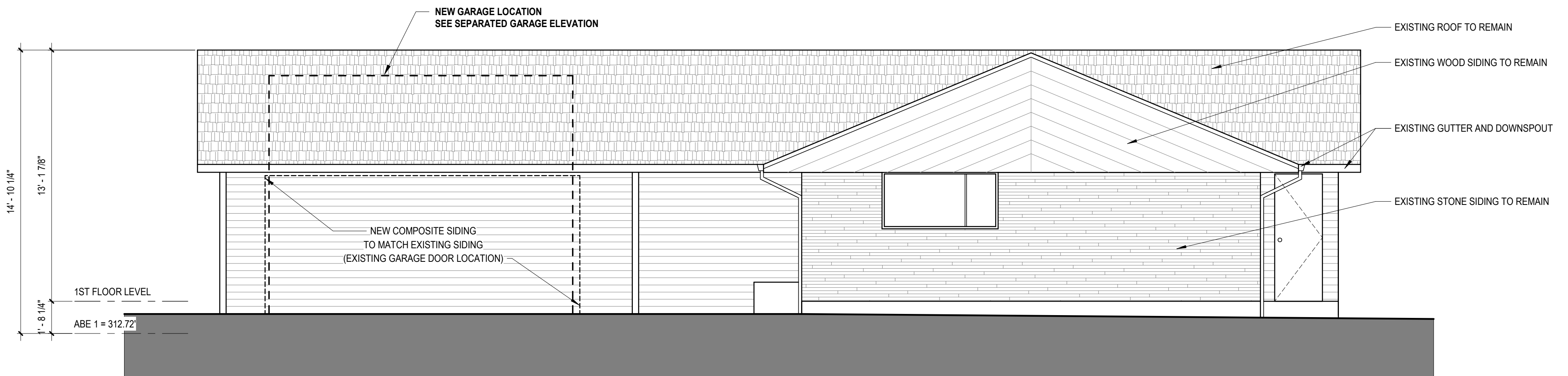








**GARAGE ELEVATION**



**HOUSE ELEVATION**

**2 BUILDING ELEVATION EAST - PROPOSED**  
1/4" = 1'-0"

**WINDOW LEGEND**

NEW WINDOW

EXISTING WINDOW

NOTE:  
1. SEE SHEET A-1 FOR AVERAGE BUILDING ELEVATION CALCULATION.  
2. SEE SHEET A-14 FOR WINDOW SCHEDULE



**1 BUILDING ELEVATION EAST - EXISTING**  
1/4" = 1'-0"

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**CHUNG RESIDENCE ADDITION**  
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SEKWANG JOO  
STATE OF WASHINGTON  
EXPIRES 04/10/2021

**ISSUE**

MARK	DATE	DESCRIPTION

DRAWN BY: \_\_\_\_\_ PROJ. ARCH: \_\_\_\_\_

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DATE: **12/03/16**

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**BUILDING ELEVATIONS - EAST**

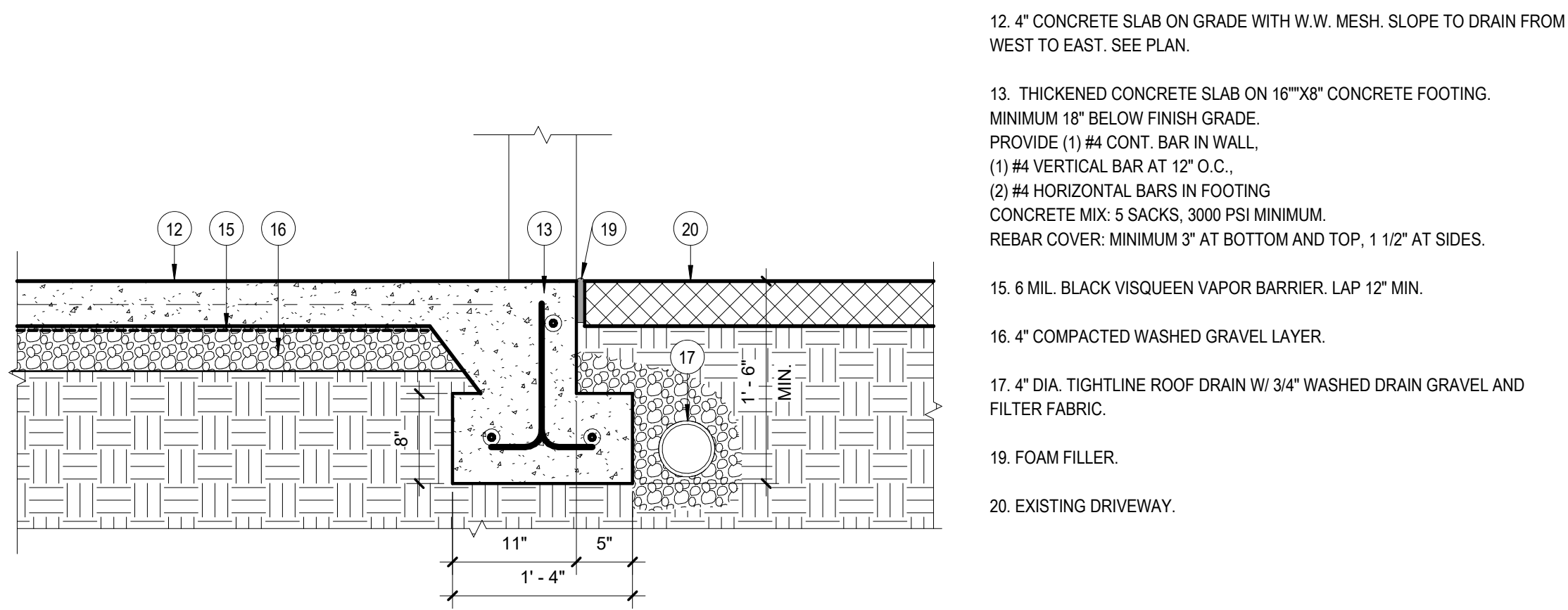
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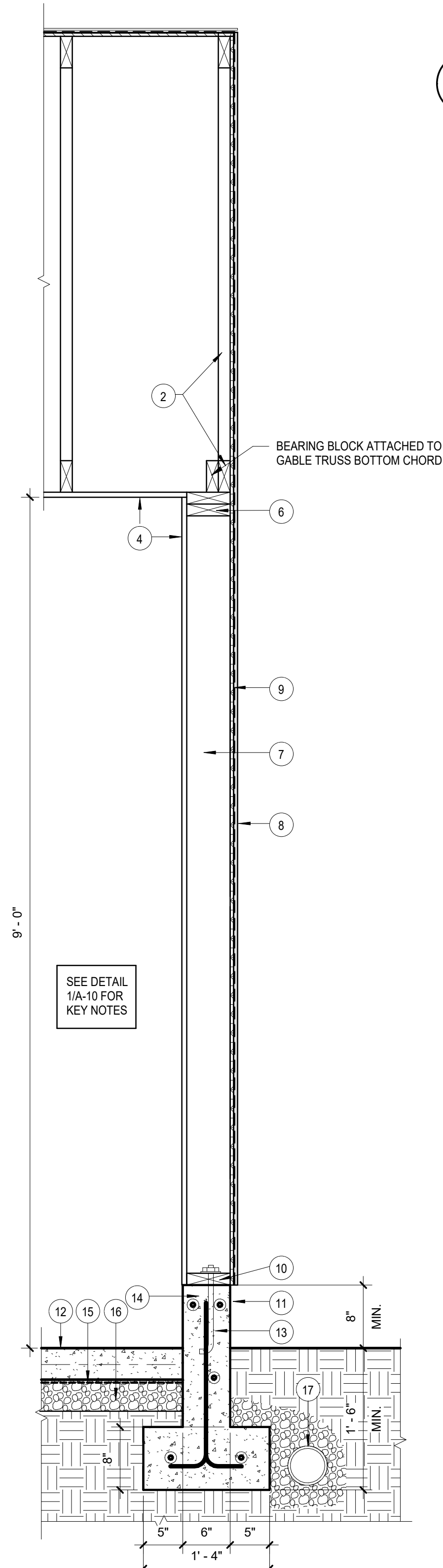




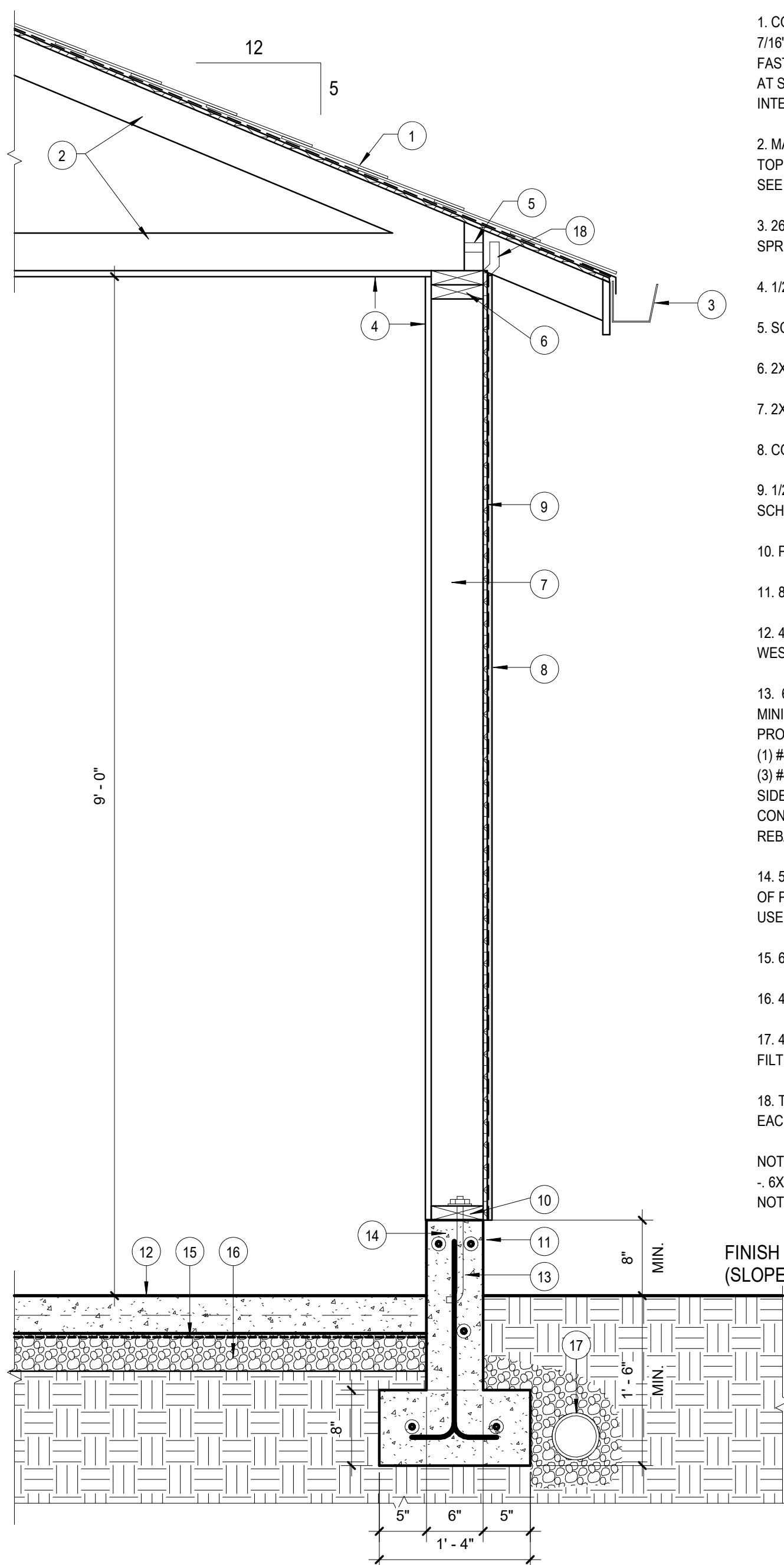


**4** SECTION AT NEW GARAGE ENTRANCE  
1" = 1'-0"

- 12. 4" CONCRETE SLAB ON GRADE WITH W.W. MESH. SLOPE TO DRAIN FROM WEST TO EAST. SEE PLAN.
- 13. THICKENED CONCRETE SLAB ON 16"x8" CONCRETE FOOTING. MINIMUM 18" BELOW FINISH GRADE. PROVIDE (1) #4 CONT. BAR IN WALL, (1) #4 VERTICAL BAR AT 12" O.C., (2) #4 HORIZONTAL BARS IN FOOTING. CONCRETE MIX: 5 SACKS, 3000 PSI MINIMUM. REBAR COVER: MINIMUM 3" AT BOTTOM AND TOP, 1 1/2" AT SIDES.
- 15. 6 MIL. BLACK VISQUEEN VAPOR BARRIER. LAP 12" MIN.
- 16. 4" COMPACTED WASHED GRAVEL LAYER.
- 17. 4" DIA. TIGHTLINE ROOF DRAIN W/ 3/4" WASHED DRAIN GRAVEL AND FILTER FABRIC.
- 19. FOAM FILLER.
- 20. EXISTING DRIVEWAY.



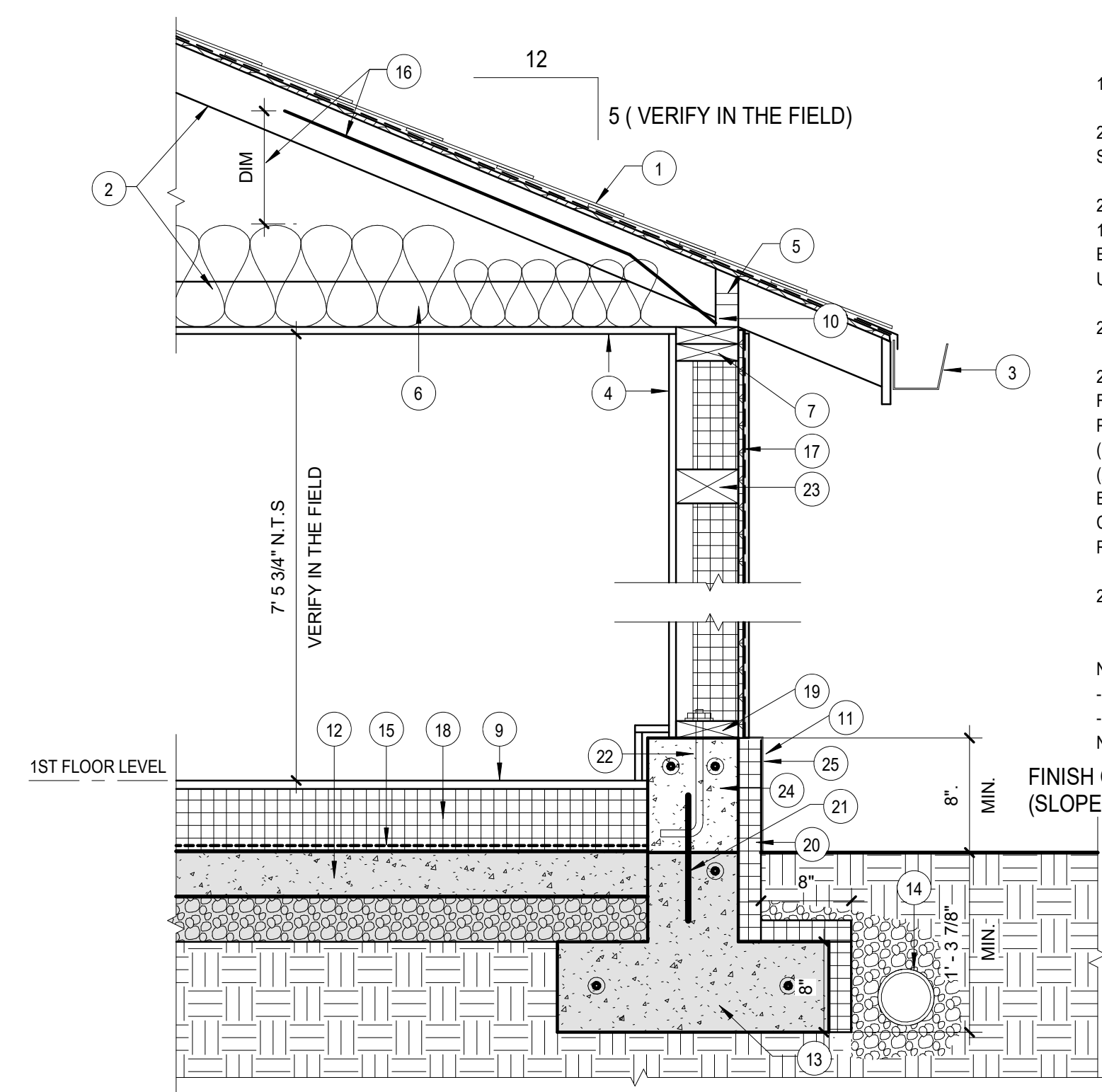
**5** WALL SECTION AT NEW GARAGE GABLE END  
1" = 1'-0"



**1** WALL SECTION AT NEW GARAGE  
1" = 1'-0"

- 1. COMPOSITE ROOFING OVER #15 WATERPROOF BUILDING PAPER OVER 7/16" OSB STRUCTURAL 1 RATED SHEATHING. FASTEN SHEATHING WITH A MINIMUM #4 COMMON NAILS. MAXIMUM 6" O.C. AT SUPPORTED SHEATHING ENDS AND EDGES. MAXIMUM 12" O.C. AT INTERMEDIATE SUPPORTS.
- 2. MANUFACTURED TRUSSES @ 24" O.C. PER ROOF FRAMING PLAN. TOP CHORD = 25 PSF, BOTTOM CHORD = 20 PSF. SEE SHEET A-5 FOR TRUSS NOTES.
- 3. 26 GA. PRE-PAINTED METAL GUTTERS ON 1"x6" PRIMED AND PAINTED SPRUCE FASCIA BOARD.
- 4. 1/2" GWB FINISH ON INTERIOR WALLS AND 5/8" GWB ON THE CEILING.
- 5. SCREENED BLOCKING (TYPICAL).
- 6. 2X6 TOP PLATES
- 7. 2X6 STUDS @ 24" O.C.
- 8. COMPOSITE SIDING OVER HOUSEWRAP. SEE ELEVATIONS
- 9. 1/2" CDX PLYWD OR 7/16" OSB SHEATHING. REFER TO SHEAR PANEL SCHEDULE FOR ADDITIONAL NAILING REQUIREMENTS.
- 10. PRESSURE TREATED 2X6 SILL PLATE.
- 11. 8" MIN. CLEAR TO DIRT.
- 12. 4" CONCRETE SLAB ON GRADE WITH W.W. MESH. SLOPE TO DRAIN FROM WEST TO EAST. SEE PLAN.
- 13. 6" THICK CONCRETE WALL ON 16"x8" THICK CONCRETE FOOTING. MINIMUM 18" BELOW FINISH GRADE. PROVIDE (2) #4 CONT. BARS IN FOOTING, (1) #4 VERTICAL BAR AT 18" O.C., (3) #4 HORIZONTAL BARS IN WALL - (1) AT SIDE AND (2) AT TOP, ONE EACH SIDE OF ANCHOR BOLT. CONCRETE MIX: 5 SACKS, 3000 PSI MINIMUM. REBAR COVER: MINIMUM 3" AT BOTTOM AND TOP, 1 1/2" AT SIDES.
- 14. 5/8" DIA. ANCHOR BOLTS W/ 7" EMBEDMENT @ 4'-0" O.C. AND WITHIN 1'-0" OF PRESSURE TREATED 2X6 SILL ENDS, JOINTS, CORNERS, OPENINGS, ETC. USE 3"x3"x1/4" SQUARE PLATE WASHERS @ EACH BOLT.
- 15. 6 MIL. BLACK VISQUEEN VAPOR BARRIER. LAP 12" MIN.
- 16. 4" COMPACTED WASHED GRAVEL LAYER.
- 17. 4" DIA. TIGHTLINE ROOF DRAIN W/ 3/4" WASHED DRAIN GRAVEL AND FILTER FABRIC.
- 18. TRUSS HOLDDOWN: SIMPSON H8 HURRICANE TIE-G90 GALVANIZED AT EACH TRUSS

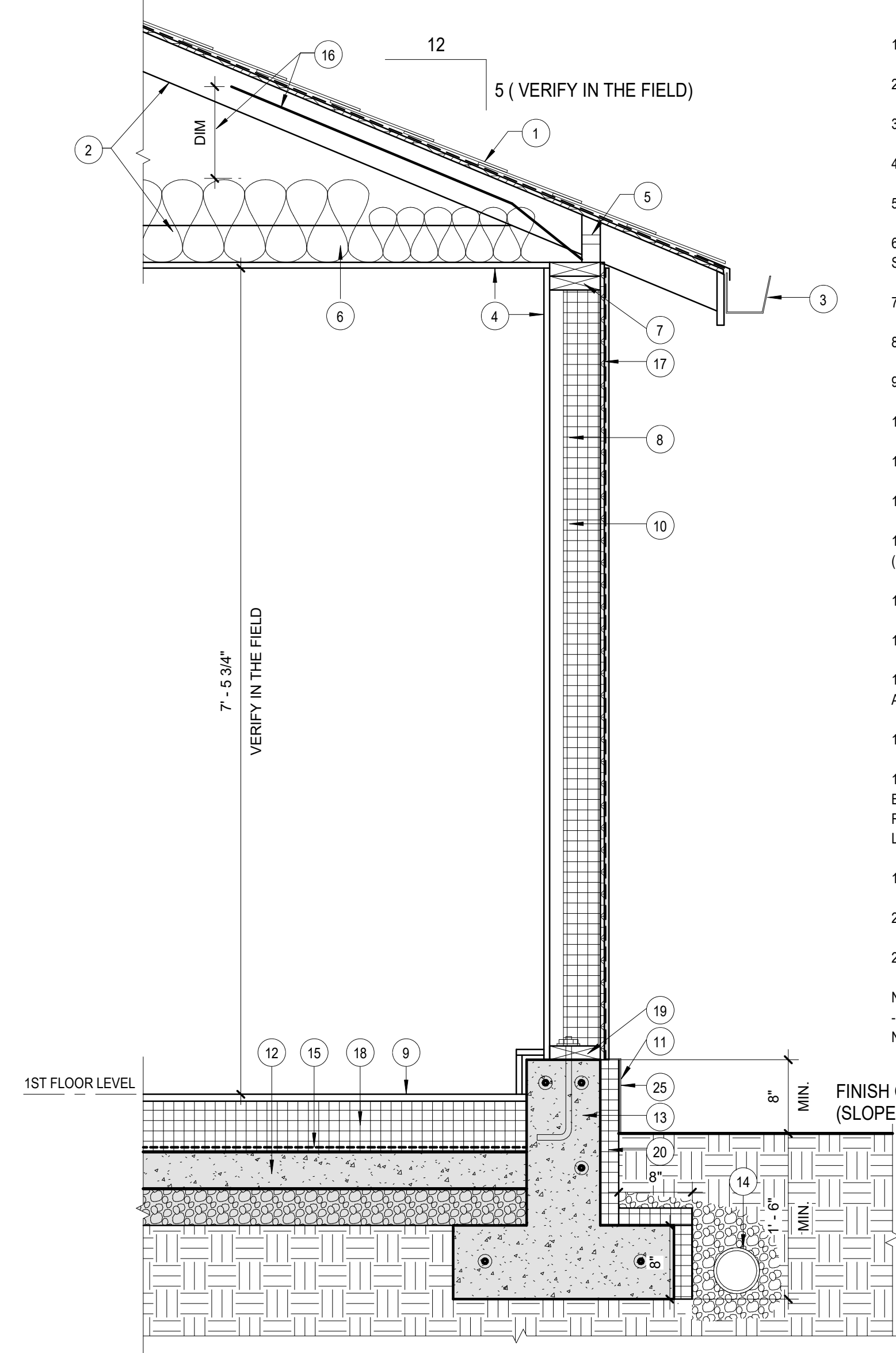
NOTE:  
- 6X8 OR 4X10 DF NO. 2 HEADERS AT DOORS AND WINDOWS UNLESS NOTED OTHERWISE.



**3** WALL SECTION AT EXISTING GARAGE DOOR OPENING INFILL  
1" = 1'-0"

- 19. NEW PRESSURE TREATED 2X4 SILL PLATE.
- 21. NEW #4 BAR AT 12" O.C. EMBED 6" INTO EXISTING FOOTING. STRONG-TIE SET-XP EPOXY
- 22. NEW 5/8" DIA. ANCHOR BOLTS W/ 7" EMBEDMENT @ 4'-0" O.C. AND WITHIN 1'-0" OF PRESSURE TREATED 2X4 SILL ENDS, JOINTS, CORNERS, OPENINGS, ETC. USE 3"x3"x1/4" SQUARE PLATE WASHERS @ EACH BOLT
- 23. EXISTING GARAGE DOOR HEADER
- 24. NEW 8" THICK AND 8" TALL CONCRETE WALL ON EXISTING CONCRETE FOOTING. PROVIDE (1) #4 VERTICAL BAR AT 18" O.C., (2) #4 HORIZONTAL BARS IN WALL - (2) AT TOP, ONE EACH SIDE OF ANCHOR BOLT. CONCRETE MIX: 5 SACKS, 3000 PSI MINIMUM. REBAR COVER: MINIMUM 3" AT BOTTOM AND TOP, 1 1/2" AT SIDES.
- 25. PAINTED METAL FLASHING OVER RIGID INSULATION.

NOTE:  
- SEE DETAIL 2/A-10 FOR OTHER NOTES  
- NEW 6X8 OR 4X10 DF NO. 2 HEADERS AT DOORS AND WINDOWS UNLESS NOTED OTHERWISE.



**2** WALL SECTION AT EXISTING GARAGE  
1" = 1'-0"

- 1. EXISTING COMPOSITE ROOFING OVER OSB SHEATHING.
- 2. EXISTING TRUSSES.
- 3. EXISTING METAL GUTTERS ON FASCIA BOARD.
- 4. NEW 1/2" GWB FINISH ON INTERIOR WALLS AND 5/8" GWB ON THE CEILING.
- 5. EXISTING SCREENED BLOCKING (TYPICAL).
- 6. NEW R-49 BATT INSULATION AT CEILINGS. INSURE 1" CONTINUOUS AIR SPACE OVER BATT, VENTS EAVES, AND RIDGES.
- 7. EXISTING 2X4 TOP PLATES
- 8. EXISTING 2X4 STUDS
- 9. NEW 3/4" UL GRADE T&G PLYWOOD.
- 10. NEW R-21 RIGID INSULATION.
- 11. 8" MIN. CLEAR TO DIRT.
- 12. EXISTING CONCRETE SLAB ON GRADE (GRAY HATCHED).
- 13. EXISTING CONCRETE FOUNDATION WALL ON CONCRETE FOOTING (GRAY HATCHED).
- 14. EXISTING ROOF DRAIN.
- 15. NEW 6 MIL. BLACK VISQUEEN VAPOR BARRIER. LAP 12" MIN.
- 16. NEW WIND BAFFLE BETWEEN EACH TRUSS SPACE. ( 12" ABOVE BLOWN AND 6" ABOVE BATT )
- 17. EXISTING WOOD SIDING.
- 18. NEW PRESSURE TREATED 2X8 AT 16" O.C. W/ RIGID INSULATION IN BETWEEN. R-28 MINIMUM AT THE HIGHEST ELEVATION OF EXISTING SLAB, R-42 AT THE LOWEST. CUT 2X8 AND MATCH SLOPE OF EXISTING SLAB FOR LEVELING PLYWOOD FLOOR.
- 19. EXISTING PRESSURE TREATED 2X4 SILL PLATE.
- 20. NEW R-10 RIGID INSULATION, 24" IN LENGTH MINIMUM
- 25. PAINTED METAL FLASHING OVER RIGID INSULATION.

NOTE:  
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EXPIRES 04/10/2021

ISSUE

MARK	DATE	DESCRIPTION
1	04/29/2017	STRUCTURAL REVIEW

DRAWN BY: \_\_\_\_\_ PROJ. ARCH: \_\_\_\_\_

PROJ. NO.: \_\_\_\_\_

DATE: **12/17/2016**

DWG. **WALL SECTIONS**

DWG. **A-10**



