

## VICINITY MAP

## **PROJECT DATA**

SITE ADDRESS: 4027 93RD AVE SE, MERCER ISLAND, WA 98040 PARCEL: 003100-0095 PROPERTY OWNER: SAM CHUNG PHONE NUMBER: 415-202-3226 EMAIL: KATECHUNGHOMES@GMAIL.COM APPLICANT:STEVE JOO PHONE NUMBER:206-306-6738 EMAIL:STEVE.JOO@HOTMAIL.COM

LOT SIZE: 8,575 SQ. FT.

LEGAL DESCRIPTION: ACERSON PARK ADD 19 LESS N 28 FT & 42 FT OF 20 PLat Block: A Plat Lot: 19-20

LOT ZONING: R-8.4 MAXIMUM LOT COVERAGE( BUILDING AND DRIVING SURFACES): 40% (LOT SLOPE LESS THAN 15% ) MAXIMUM GROSS FLOOR AREA: 40% MAXIMUM BUILDING HEIGHT: 30 FEET PROPOSED PARKING: 1 COVERED AND 1 UNCOVERED 1 COVERED STALL IS REQUIRED (UNDER 3,000 SQ. FT. GFA)

# **GROSS FLOOR AREA**

LOT AREA	8,575 SQ. FT.
EXISTING FINISHED AREA	1,630 SQ. FT.
EXISTING GARAGE AREA CONVERGED TO LIVING AREA	480 SQ. FT.
PROPOSED ADDITION ( DETACHTED GARAGE)	318 SQ. FT.
NEW GROSS FLOOR AREA	2,428 SQ. FT.
2,428 / 8,575 X 100 = 28.3%	

## LOT COVERAGE

EXISTING ( HOUSE BUILT IN YEAR 1954 )	
ALL ROOVES( INCLUDING EAVES )	2,619 SQ. FT.
DRIVEWAY( ASPHALT )	893 SQ. FT.
COVERED PATIO( CONCRETE )	0 SQ. FT.
TOTAL	3,512 SQ. FT.
3,512 / 8,575 X 100 = 40.96% ( HOUSE BUILT IN	NYEAR 1954)
PROPOSED	
ALL ROOVES( INCLUDING EAVES )	2,619 SQ. FT.
DRIVEWAY( ASPHALT )	465 SQ. FT.
DETACHED GARAGE ROOF WITHIN EXISTING DRIVEWAY FOOTPRINT	356 SQ. FT.
COVERED PATIO( CONCRETE )	0 SQ. FT.
TOTAL	3,440 SQ. FT.
3,440 / 8,575 X 100 = 40.12%	
NO NEW LOT COVERAGE IS PROPOSED. PRO GARAGE IS IN THE SAME FOOTPRINT OF THE	

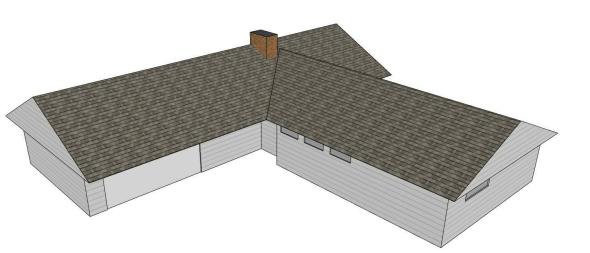
HVAC, PLUMBING, ELECTRICAL ARE UNDER SEPARATE PERMITS

## AVERAGE BUILDING ELEVATION 2 PROPOSED DETACHED GARAGE

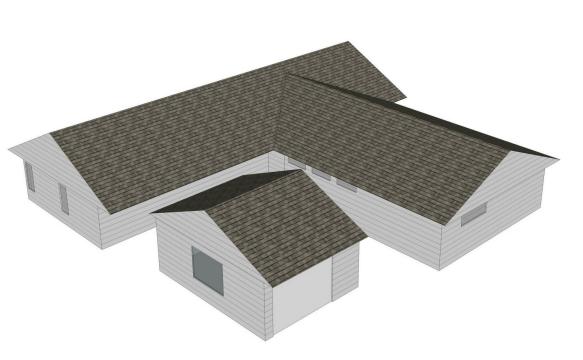
MIDPOINT ELEVATION	WALL SEGMEN
J = 312.0 feet	j = 15.99 fe
K = 312.5 feet	k = 20.00 f
M = 312.7 feet	m = 15.99
N = 312.3 feet	n = 20.00 f
ARE -( (312 0)/15 00)+(31	2 5\(20 00\+(312 7

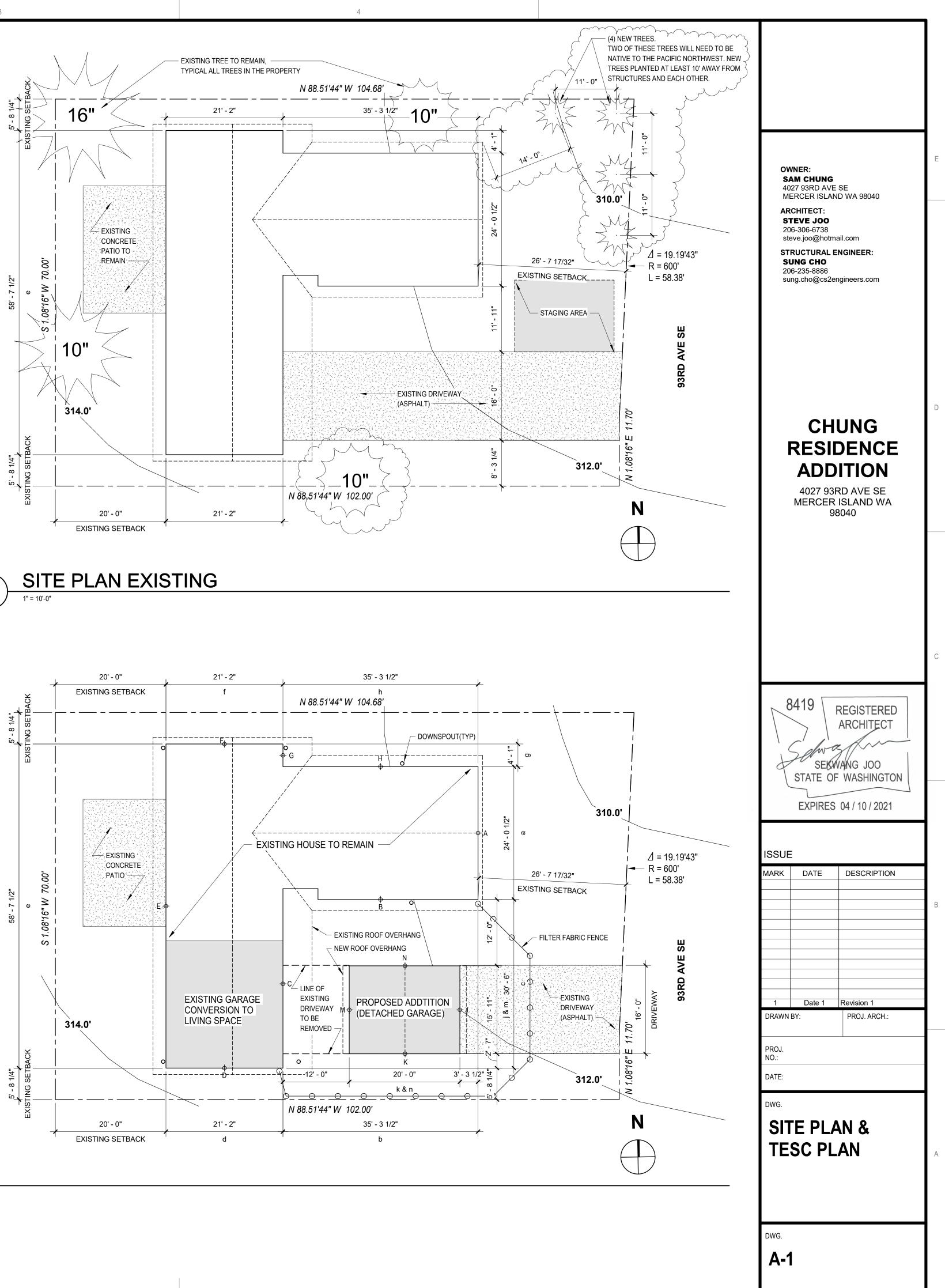
**ABE** =( (312.0)(15.99)+(312.5)(20.00)+(312.7 (312.3)(20.00) / (15.99+20.00+15.99+20.00)

= 22,484.95 / 71.98 = 312.38 feet



**EXISTING HOUSE** 





## **PROPOSED ADDITION**

2

	PROPERTY LINE
——————————————————————————————————————	FILTER FABRIC FENCE
—312.0'—	EXISTING GRADE LINE

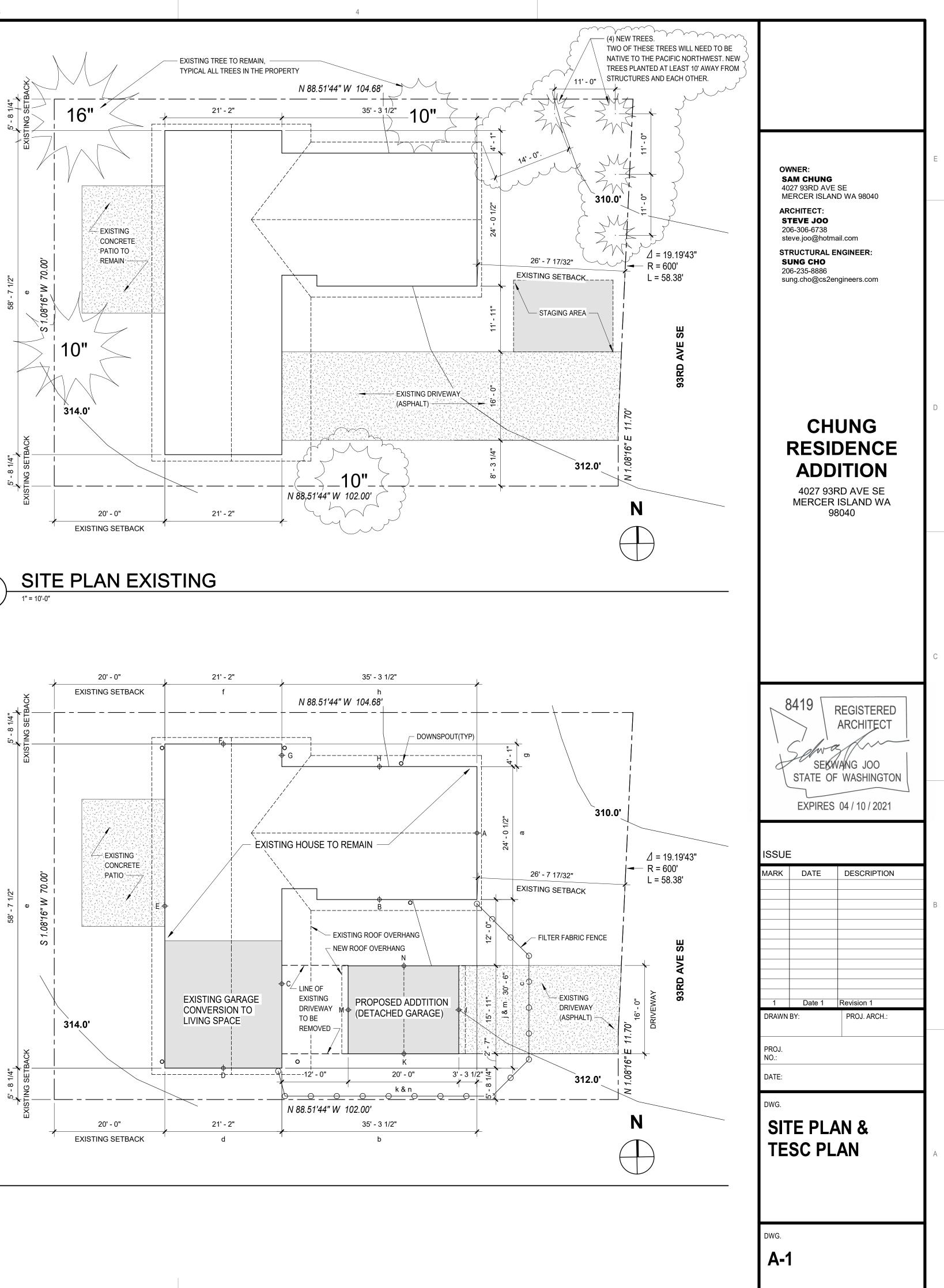
LEVATION 2 (ABE2) D GARAGE	AVERAGE BUILDIN EXISTING HOUSE	IG ELEVATION 1 (ABE1)
ALL SEGMENT LENGTH	MIDPOINT ELEVATION	WALL SEGMENT LENGTH
j = 15.99 feet	A = 311.5 feet	a = 24.04 feet
k = 20.00 feet	B = 312.4 feet	b = 35.29 feet
m = 15.99 feet	C = 313.0 feet	c = 30.50 feet
n = 20.00 feet	D = 313.6 feet	d = 21.16 feet
11 - 20.00 leet	E = 313.3 feet	e = 58.63 feet
(20.00)+(312.7)(15.99)+	F = 312.7 feet	f = 21.16 feet
.00)	G = 312.5 feet	g = 4.08 feet
.00)	H = 312.2 feet	h = 35.29 feet
	(313.6)(21.16)+(31 (312.5)(4.08)+(312	12.4)(35.29)+(313.0)(30.50)+ 3.3)(58.63)+(312.7)(21.16)+ .2)(35.29) ) /

35.29)

= 312.72 feet

1

= 71,973.38 / 230.15



# SITE PLAN PROPOSED

(24.04+35.29+30.50+21.16+58.63+21.16+4.08+

#### NOTE:

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#### **GENERAL NOTES**

TRESTED OR CEDAR

- VERIFY IN THE FIELD ALL DIMENSIONS OF EXISTING CONDITION

- CONSTRUCTION TO COMPLY WITH THE 2015 IRC

- NEW 2X6 EXTERIOR STUD WALLS @ 24" O.C. STACKED FRAMED - NEW 2X4 INTERIOR STUD WALLS @ 16" O.C. UNLESS NOTED OTHERWISE - BEARING AND HEADERS TO BE 6X8 #2 DF OR 4X10 #2 DF FURRED-OUT

- FIREBLOCK ALL PLUMBING PENETRATIONS - PROVIDE SOLID BLOCKING OVER BEAMS & BEARING WALLS

- ALL HANGER TO BE SIMPSON OR EQUAL

- BEDROOMS TO HAVE AT LEAST ONE OPERABLE WINDOW NET CLEAR OPENING OF 5.7 SQ. FT. MIN. WITH A NET CLEAR OPENING HT. OF 24" MIN. AND NET CLEAR OPENING WIDTH OF 20" MIN. AND A FINISHED SILL HEIGHT

OF NOT MORE THAN 44" ABOVE FINISH FLOOR. - FIREPLACES AND STOVES MUST BE D.O.E. APPROVED AND BE TESTED, CERTIFIED & LABELED AS SUITABLE FOR USE DURING A FIRST STAGE BURN

BAN - ALL LUMBER EXPOSED TO WEATHER OR CONCRETE TO BE PRESSURE

## <u>PLAN LEGEND</u> NEW CONSTRUCTION EXISTING WALL TO REMAIN

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D-#

EXISTING WALLS AND WINDOWS TO BE REMOVED AND OR MODIFIED -----

NEW DOOR

EXISTING DOOR

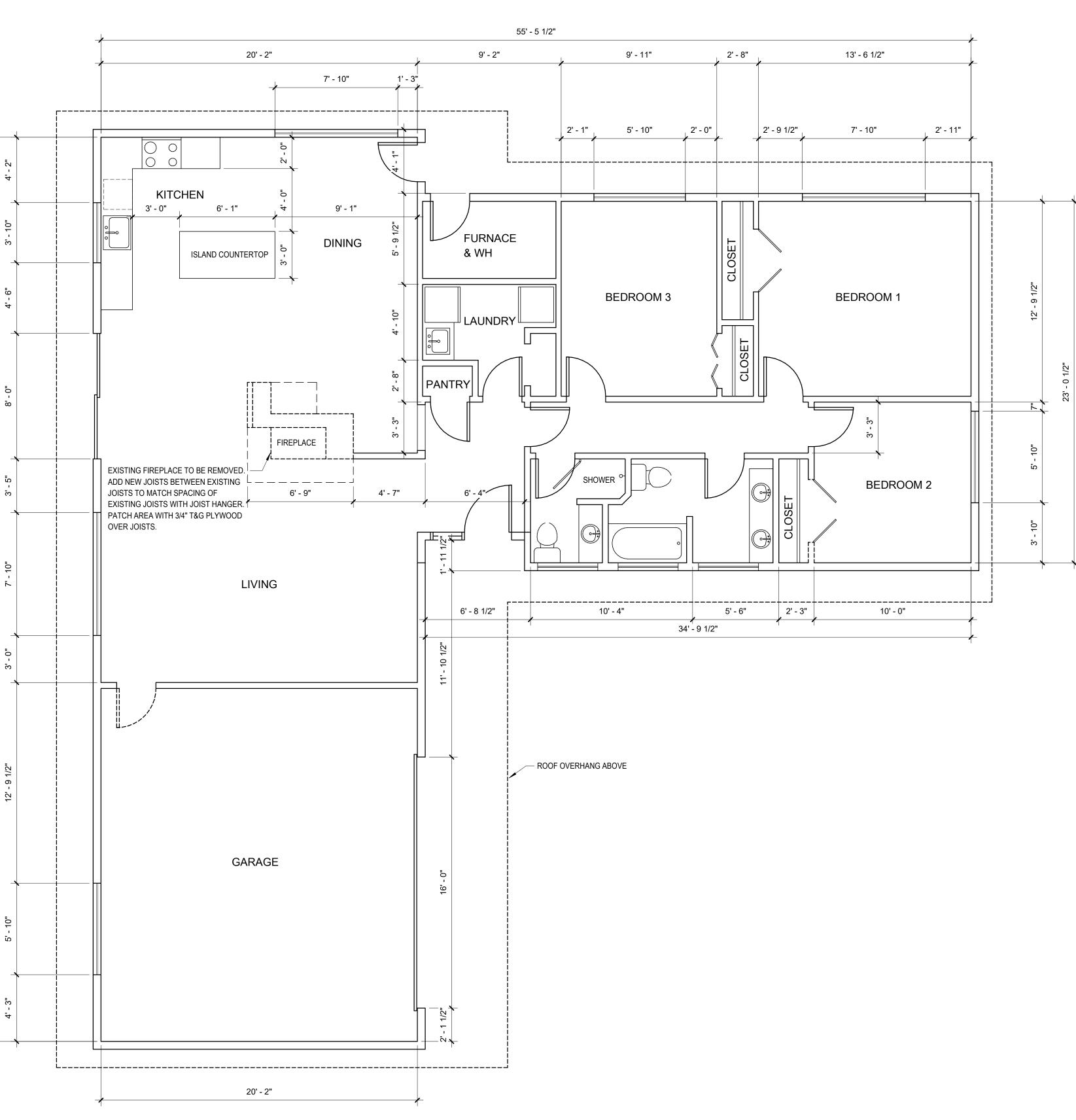
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EXISTING DOOR TO BE REMOVED AND OR MODIFIED

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EXISTING FLOOR PLAN 1 1/4" = 1'-0"

2



0' 2' 4' 8'



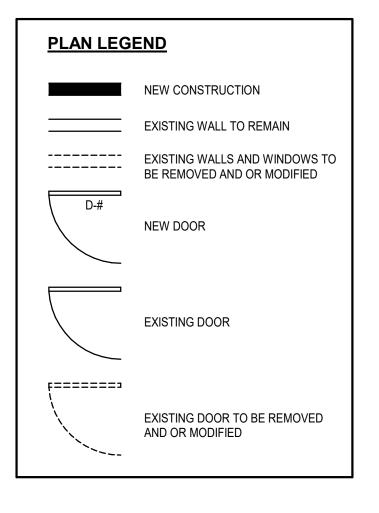
OWNER: SAM CHUNG 4027 93RD AVE SE MERCER ISLAND WA 98040 ARCHITECT: **STEVE JOO** 206-306-6738 steve.joo@hotmail.com STRUCTURAL ENGINEER: SUNG CHO 206-235-8886 sung.cho@cs2engineers.com CHUNG RESIDENCE ADDITION 4027 93RD AVE SE MERCER ISLAND WA 98040 8419 REGISTERED ARCHITECT SEKWANG JOO STATE OF WASHINGTON EXPIRES 04 / 10 / 2021 ISSUE MARK DATE DESCRIPTION DRAWN BY: PROJ. ARCH.: PROJ. NO.: 12/17/2016 DATE: DWG. **EXISTING FLOOR** PLAN DWG. **A-2** 

#### GENERAL NOTES

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- ALL LUMBER EXPOSED TO WEATHER OR CONCRETE TO BE PRESSURE TRESTED OR CEDAR



#### SQUARE FOOTAGE

	EX LIVING AREA 1,630	KISTING		PROPOSED											
		GARAGE	SUBTOTAL	LIVING AREA	GARAGE	SUBTOTAL									
1ST FLOOR	1,630	480	2,110	2,110	318	2,428									

#### SHEAR WALL SCHEDULE

MARK	SHEATHING COMMON	STUDS AT ABUTTING PANEL	PANEL EDGE NAILING	RIM JOIST OR E		2X BOTTOM PLATE ATTACHMENT	SILL PLATE A	TTACHMENT
		EDGES*	**/****	SOLID RIM	TJI RIM	BOTTOM PLATE TO RIM JOIST BELOW**	ANCHOR BOLT TO CONCRETE ***	SILL PLATE AT FOUND.
SW1	7/16" OSB ONE SIDE	2X	8d @ 6" O.C.	A35 @ 24" O.C.	16d @ 6" O.C.	16d @ 6" O.C.	5/8" DIA. @ 48" O.C.	2X

\* INTERMEDIATE FRAMING TO BE 2x STUDS. TWO 2x STUDS MAY BE USED IN PLACE OF 3x STUDS; NAIL TOGETHER WITH BOTTOM PLATE ATTACHMENT NAILING.

\*\* 8d NAILS SHALL BE 0.131" DIA X 2 1/2" (COMMON). 16d NAILS SHALL BE 0.135" DIA X 3 1/2" (BOX). \*\*\* USE ANCHOR BOLT WITH 7" MIN. EMBED OR EXPANSION BOLTS WITH 4" EMBED. AT ALL ANCHOR BOLTS USE 3"X3"X1/4" PLATE WASHERS (SIMPSON BP5/8-3 OR EQUAL)

\*\*\*\* TWO STUDS MINIMUM ARE REQUIRED AT EACH END OF SHEARWALLS. END STUD SHALL RECEIVE PANEL EDGE NAILING.

#### WSEC - ENERGY EFFICIENCY CREDITS

SELECTED OPTIONS	DESCRIPTION	CREDIT
EFFICIENT BUILDING ENVELOPE 1a:	VERTICAL PENESTRATION U=0.28, FLOOR R=38	0.5
HIGH EFFICIENCY HVAC EQUIPMENT 3a:	GAS FURNACE W/ MINIMUM AFUE OF 94%	1.0
EFFICIENT WATER HEATING 5a:	KITCHEN SINK FAUCET AND SHOWERHEAD AT 1.75 GPM OR LESS	0.5
EFFICIENT WATER HEATING 5c:	GAS WATER HEATER W/ MINIMUM EF 0.91	1.5

#### WHOLE HOUSE FAN

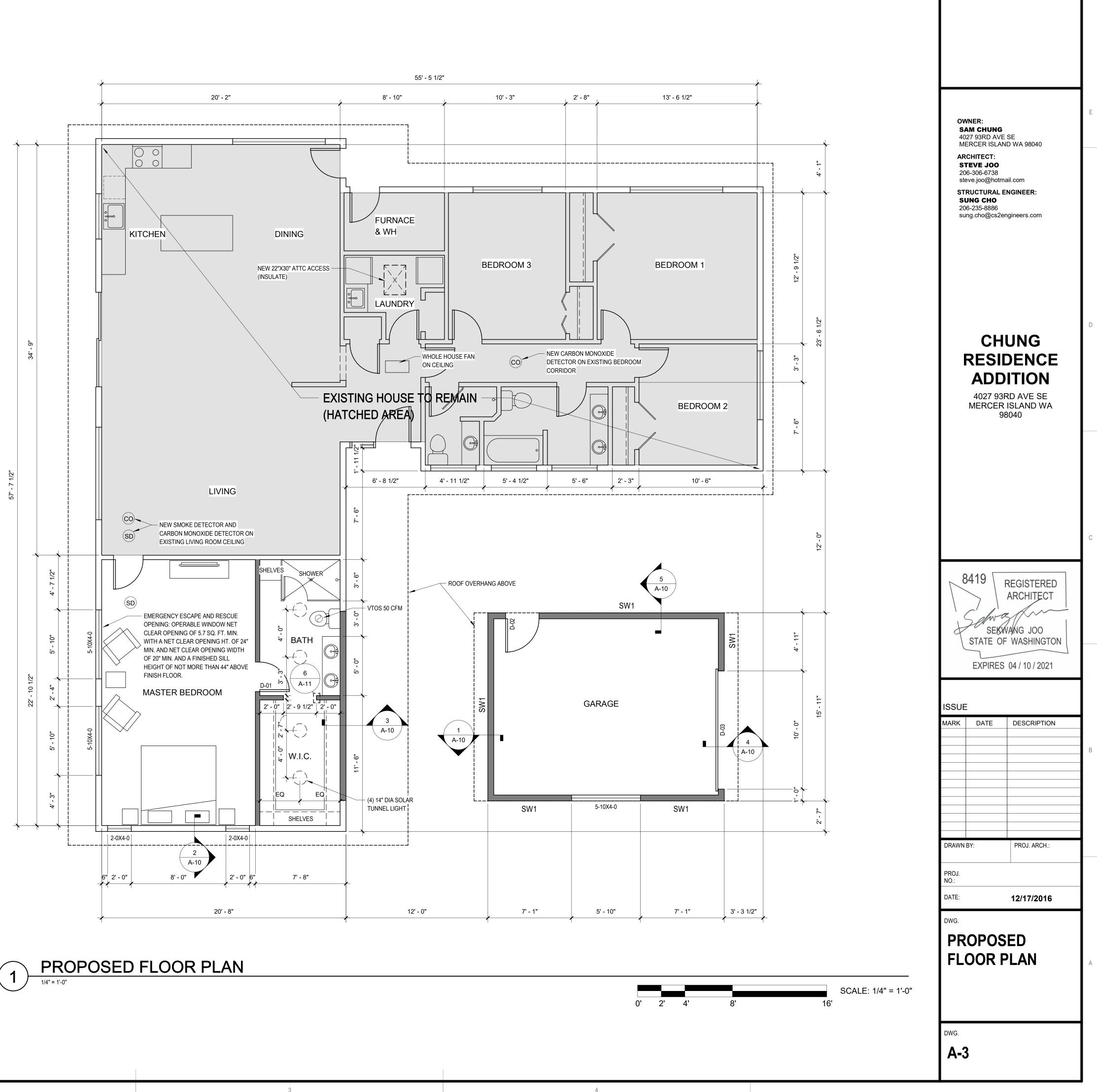
BATHROOM (3)	.25 w.g.	50 CFM
LAUNDRY	.25 w.g.	50 CFM
KITCHEN	.10 w.g.	100 CFM
BEDROOM (4)	.25 w.g.	50 CFM
PROVIDE 150 CFM W.H.F TO CONTROL EXHAUST INTERMITTENT AIR FLOV VENTILATION PATH THR	FAN. W AT 50% I	RUN TIME.

### DOOR SCHEDULE

DOOR	TYPE	S	IZE	MATERIAL	DE	TAIL	U-VALUE
NUMBER		WIDTH	HEIGHT		HEAD	JAMB	
D-01	SWING / SINGLE / PANEL	2'-6"	6'-8"	WOOD	4/A-14	5/A-14	
D-02	SWING / SINGLE / PANEL	2'-10"	6'-8"	WOOD			
D-03	OVERHEAD GARAGE DOOR	10'-0"	7'-0"	STEEL			

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STRUCTURAL DESIGN NOTES: 1. LIVE LOAD ROOF LIVE LOAD = 25 PSF (SNOW)\* FLOOR LIVE LOAD = 40 PSF

2. DEAD LOAD ROOF TRUSS DEAD LOAD = 10 PSF TOP CHORD + 5 PSF BOTTOM CHORD

3. WIND LOAD: WIND LOADS SHALL BE IN ACCORDANCE WITH THE IBC SECTION 1609 & ASCE 7-10, CHAPTER 26 THRU 31.

WIND IMPORTANCE FACTOR (IW) = 1.0, WIND EXPOSURE "B" BASIC WIND SPEED (V3S) = 110 mph TOPOGRAPHIC EFFECT (KZT) = 1.0

4. SEISMIC LOAD: EARTHQUAKE LOADS SHALL BE IN ACCORDANCE WITH THE BUILDING CODE (SECTION 1613) & ASCE 7-10, CHAPTER 12.

SEISMIC IMPORTANCE FACTOR (IE) = 1.0, SITE CLASS "D", R = 6.5 SS = 1.398g, S1 = 0.537g, SDS = 0.932g, SS1 = 0.537g SEISMIC DESIGN CATEGORY = "D"

WOOD:

1. FRAMING LUMBER SHALL BE KILN DRIED OR MC-19, AND GRADED AND MARKED IN CONFORMANCE WITH W.C.L.B. STANDARD GRADING RULES FOR WEST COAST LUMBER NO. 16. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

- JOISTS & RAFTERS: HF#2 OR BETTER
- BEAMS: DF#1 OR BETTER
- STUDS, PLATES & MISC. FRAMING: HF STUD GRADE

2. STRUCTURAL WOOD PANEL SHEATHING (PLYWOOD) SHALL BE APA RATED SHEATHING WITH EXPOSURE 1 CLASSIFICATION.

- ROOF SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 24/0. FLOOR SHEATHING SHALL BE 3/4" (NOMINAL) WITH SPAN RATING 40/20.
- WALL SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 24/0. REFER TO WOOD FRAMING NOTES BELOW FOR TYPICAL NAILING REQUIREMENTS.

3. ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE- TREATED WITH AN APPROVED PRESERVATIVE OR (2) LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER SHALL BE PROVIDED BETWEEN UNTREATED WOOD AND CONCRETE OR MASONRY.

4. TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR LATEST CATALOG. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICBO APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD. UNLESS NOTED OTHERWISE, ALL NAILS SHALL BE COMMON. ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED. ALL JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "U" SERIES JOIST HANGERS.

#### CAST-IN-PLACE CONCRETE:

1. CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH IBC AND ACI 301. CONCRETE SHALL ATTAIN A 28-DAY STRENGTH OF fc = 3,500 PSI AND MIX SHALL CONTAIN NOT LESS THAN 5 1/2 SACKS OF CEMENT PER CUBIC YARD AND SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 3" TO 5".

2. THE MINIMUM AMOUNTS OF CEMENTITIOUS MATERIAL MAY BE CHANGED IF A CONCRETE PERFORMANCE MIX IS SUBMITTED TO THE STRUCTURAL ENGINEER AND THE BUILDING DEPARTMENT FOR APPROVAL TWO WEEKS PRIOR TO PLACING ANY CONCRETE. THE PERFORMANCE MIX SHALL INCLUDE THE AMOUNTS OF CEMENT, FINE AND COARSE AGGREGATE, WATER AND

ADMIXTURES, AS WELL AS THE WATER-CEMENT RATIO, SLUMP, CONCRETE YIELD AND SUBSTANTIATING STRENGTH DATA IN ACCORDANCE WITH ACI 318. REVIEW OF MIX SUBMITTALS BY THE ENGINEER OF RECORD INDICATES ONLY THAT INFORMATION PRESENTED CONFORMS GENERALLY WITH CONTRACT DOCUMENTS. CONTRACTOR OR SUPPLIER MAINTAINS FULL RESPONSIBILITY FOR SPECIFIED PERFORMANCE.

3. SLEEVES, OPENINGS, CONDUIT, AND OTHER EMBEDDED ITEMS NOT SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE APPROVED BY THE PROJECT ARCHITECT/ENGINEER BEFORE POURING. CONDUITS EMBEDDED IN SLABS SHALL NOT BE LARGER IN OUTSIDE DIMENSION THAN ONE THIRD OF THE THICKNESS OF THE SLAB AND SHALL NOT BE SPACED CLOSER THAN THREE DIAMETERS ON CENTER.

4. WHERE NEW CONCRETE IS PLACED AGAINST EXISTING CONCRETE, THE EXISTING CONCRETE SURFACE SHALL BE CLEANED AND ROUGHENED TO A MINIMUM 1/4" AMPLITUDE. PROVIDE 3/4" CHAMFERS ON ALL EXPOSED CONCRETE EDGES, UNLESS NOTED OTHERWISE.

5. VERIFY ALL BLOCKOUTS WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING REQUIREMENTS.

#### REINFORCING STEEL:

1. REINFORCING STEEL SHALL CONFORM TO ASTM A615, INCLUDING S1, GRADE 60, FOR DEFORMED BARS AND ASTM A185 FOR SMOOTH WELDED WIRE FABRIC (WWF), UNLESS OTHERWISE NOTED. REINFORCING STEEL TO BE WELDED SHALL CONFORM TO ASTM A706. COLUMN SPIRALS SHALL BE PLAIN OR DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60. REINFORCING STEEL SHALL BE SECURELY TIED IN PLACE WITH #16 ANNEALED IRON WIRE.

2. BARS IN SLABS SHALL BE SUPPORTED ON WELL-CURED CONCRETE BLOCKS OR APPROVED METAL CHAIRS, AS SPECIFIED BY THE CRSI MANUAL OF STANDARD PRACTICE, MSP-1. REINFORCING STEEL SHALL BE DETAILED IN ACCORDANCE WITH THE "ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES," ACI 315. SHOP DRAWINGS SHALL INCLUDE ELEVATIONS OF ALL COLUMNS SHOWING BAR LOCATIONS. LAP ALL REINFORCING BARS AT SPLICES 36 DIAMETERS, WITH A MINIMUM LAP OF 18", EXCEPT AS NOTED.

3. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE:

CAST AGAINST EARTH...... 3 IN.

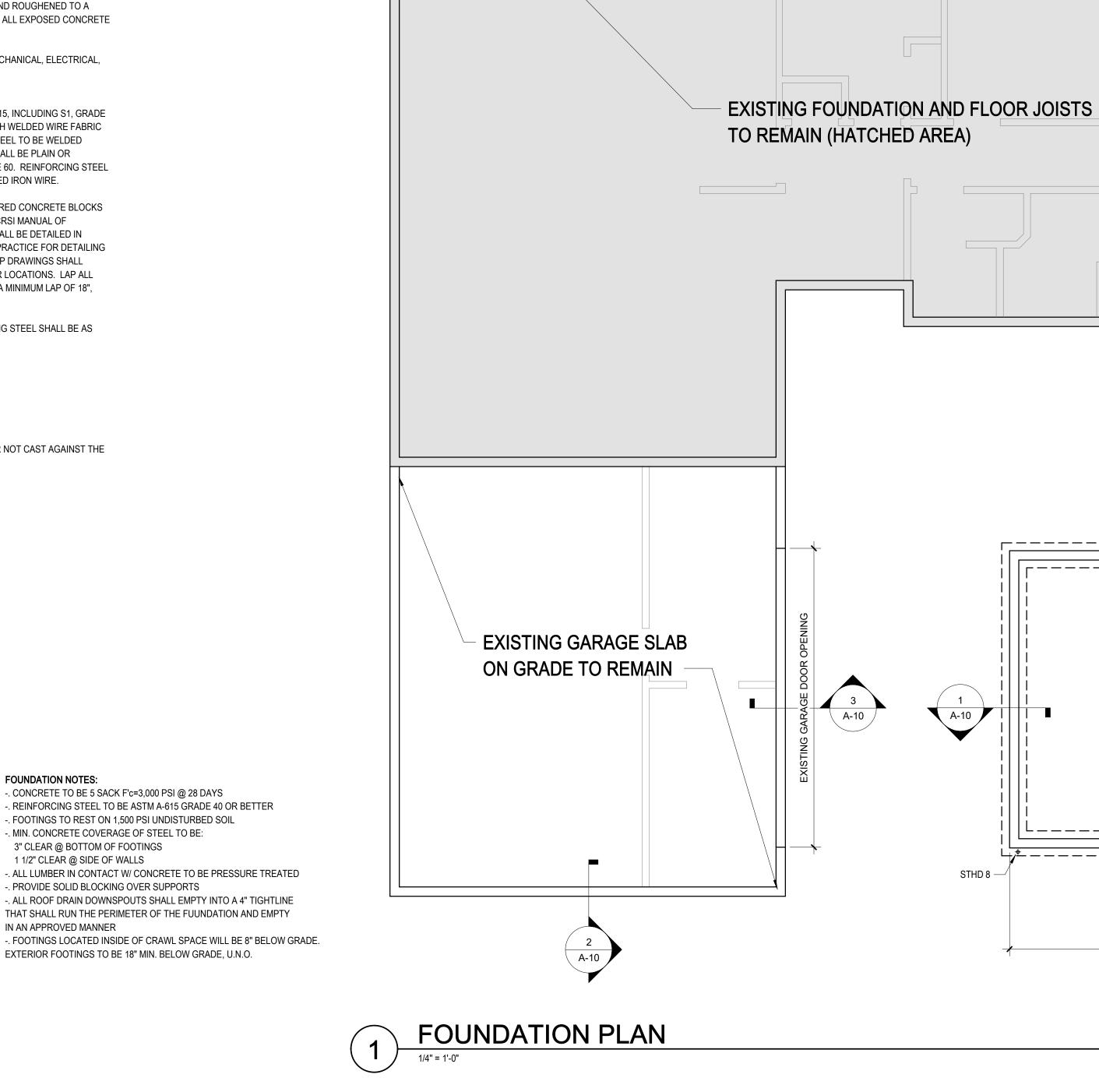
CONCRETE EXPOSED TO EARTH OR WEATHER: #6 AND LARGER ...... 2 IN.

#5 AND SMALLER & WWF ........... 1 1/2 IN.

CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND::

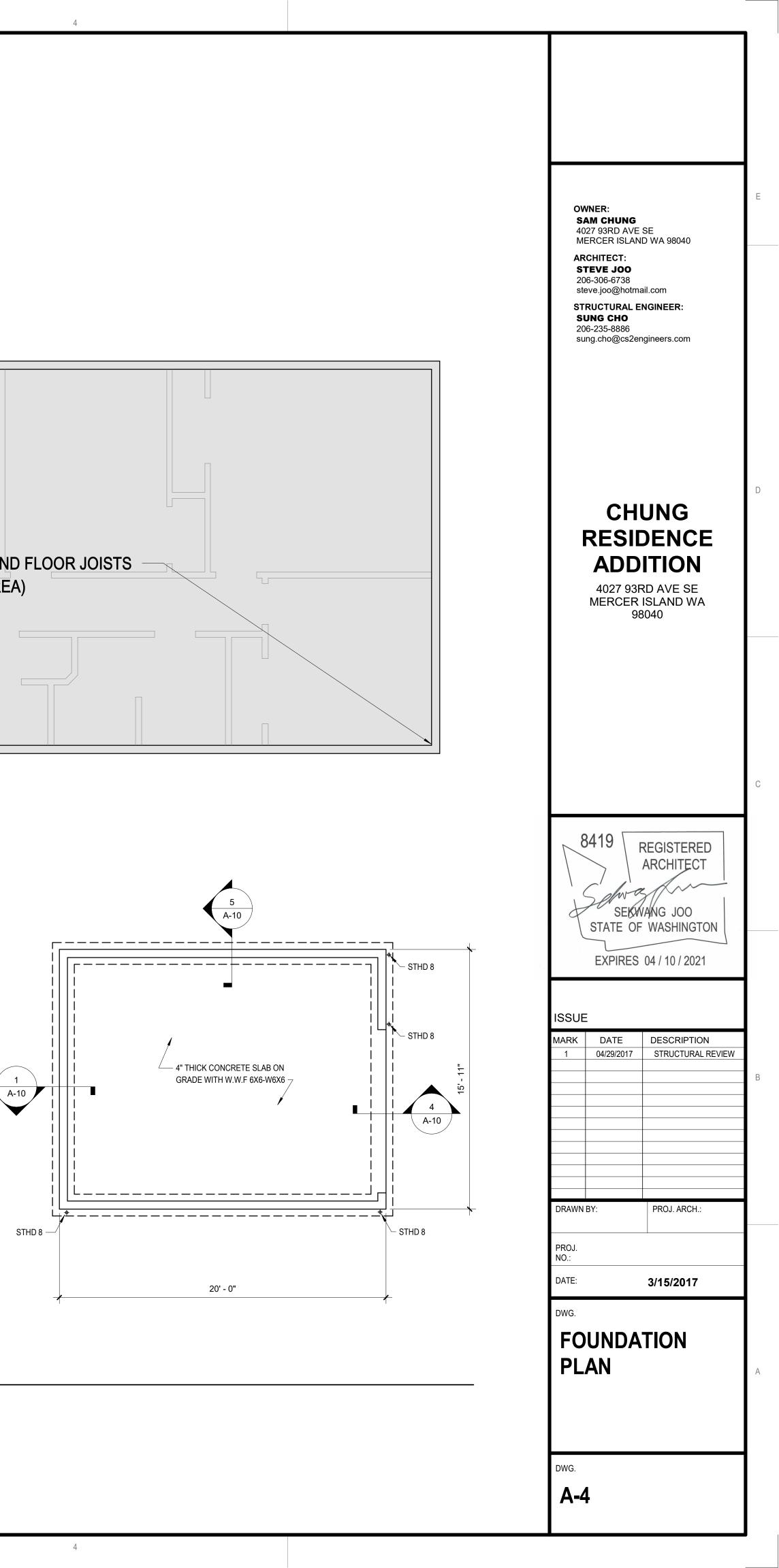
SLAB AND WALL ..... 3/4 IN. BEAMS AND COLUMNS ..... 1 1/2 IN.

- IN AN APPROVED MANNER



EXISTING 18"X24" CRAWL SPACE ACCESS -

ON FOUNDATION WALL TO REMAIN





 WILL NOT BE FIELD ALTERED WITHOUT BUILDING DEPARTMENT APPROVAL OF THE ENGINEERING CALCULATIONS.
 SHALL HAVE DESIGN DETAILS AND DRAWINGS ON SITE.
 TRUSS HOLDDOWN: SIMPSON H8 HURRICANE TIE-G90 GALVANIZED AT EACH TRUSS
 ROOF NOTES: MATERIAL: COMP ROOFING PITCH: 5:12 OVERHANG: SEE DIMENSIONS ON PLAN

GENERAL NOTES:

- FIREBLOCK ALL VOIDS.

- SHALL HAVE MANUFACTURER'S STAMP.

TRUSS NOTES:

ATTIC VENTILATION:

EXITING ATTIC VENTS TO REMAIN.

EXISTING HOUSE:

MATERIAL: COMP ROOFING PITCH: 5:12 OVERHANG: SEE DIMENSIONS ON PLAN FASCIA: 1"X6" PRIMED AND PAINTED SPRUCE FASCIA BOARD, 1"X8" PRIMED AND PAINTED SPRUCE FASCIA BOARD AT GABLE

- VERIFY IN THE FIELD ALL DIMENSIONS FOR EXISTING CONDITION

- SKYLIGHTS IN HEATED ENVELOP TO BE INSULATED PER WSEC.

- ALL HEADERS TO BE 6X8 DF#2 OR 4X10 DF#2 UNLESS NOTED OTHERWISE. - ALL LUMBER EXPOSED TO WEATHER TO BE PRESSURE TREATED OR CEDAR.

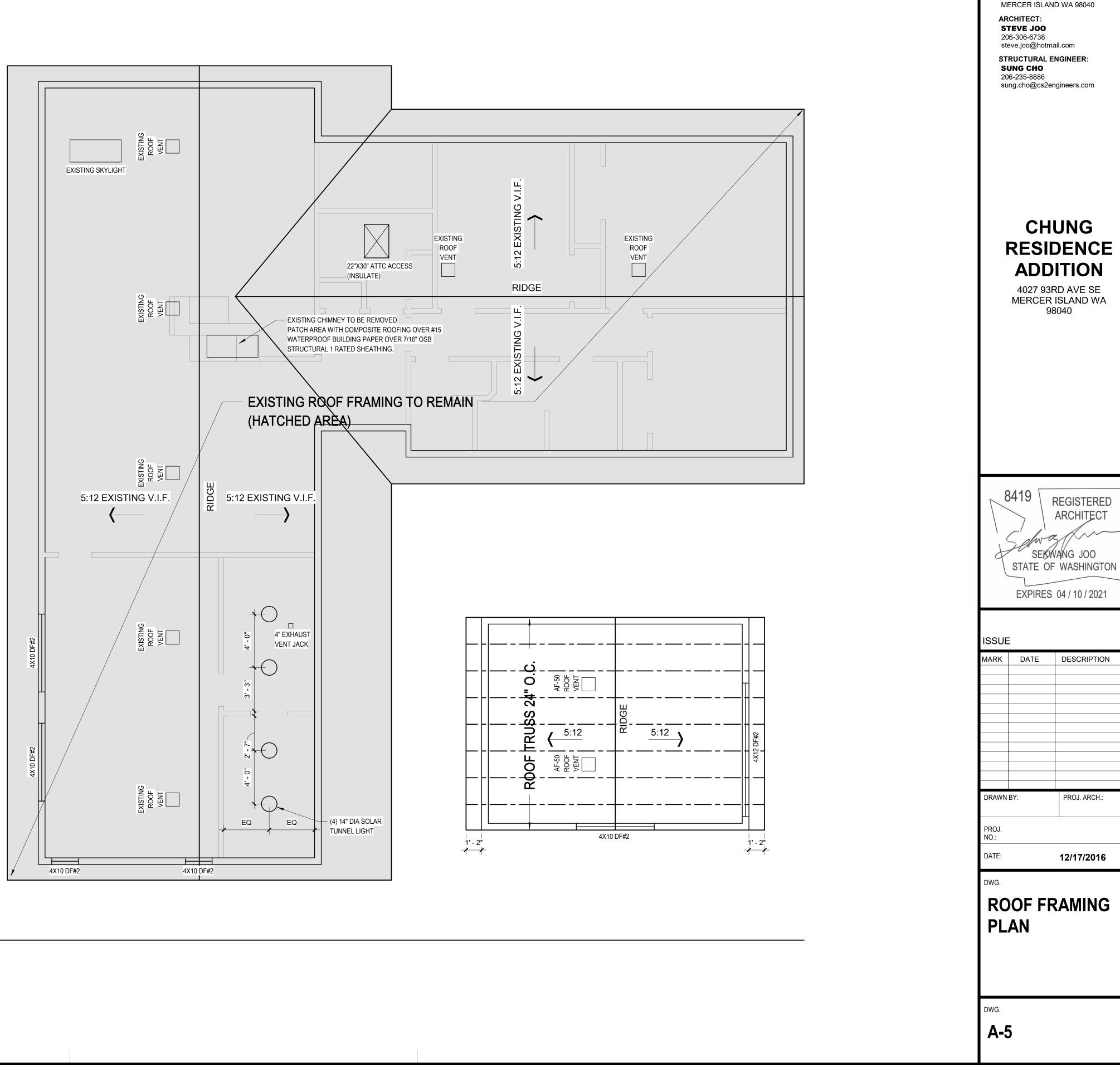
- SHALL BE INSTALLED AND BRACED PER MANUFACTURER'S INSTRUCTIONS.

- MIN. 22"X30" ATTIC ACCESS W/ 36" MIN. HEAD ROOM. INSULATE AND WEATHERSTRIP.

NEW GARAGE: 356 SQ. FT.( ATTIC SPACE ) X 144/300 = 170.88 SQ. IN.( REQUIRED NET AREA ) PROVIDE (10) 7.85 SQ. IN. VENT BLOCKS = 78.5 SQ. IN. PROVIDE (2) AF-50 ROOF JACKS = 100 SQ. IN. IRC SECTION R806.2



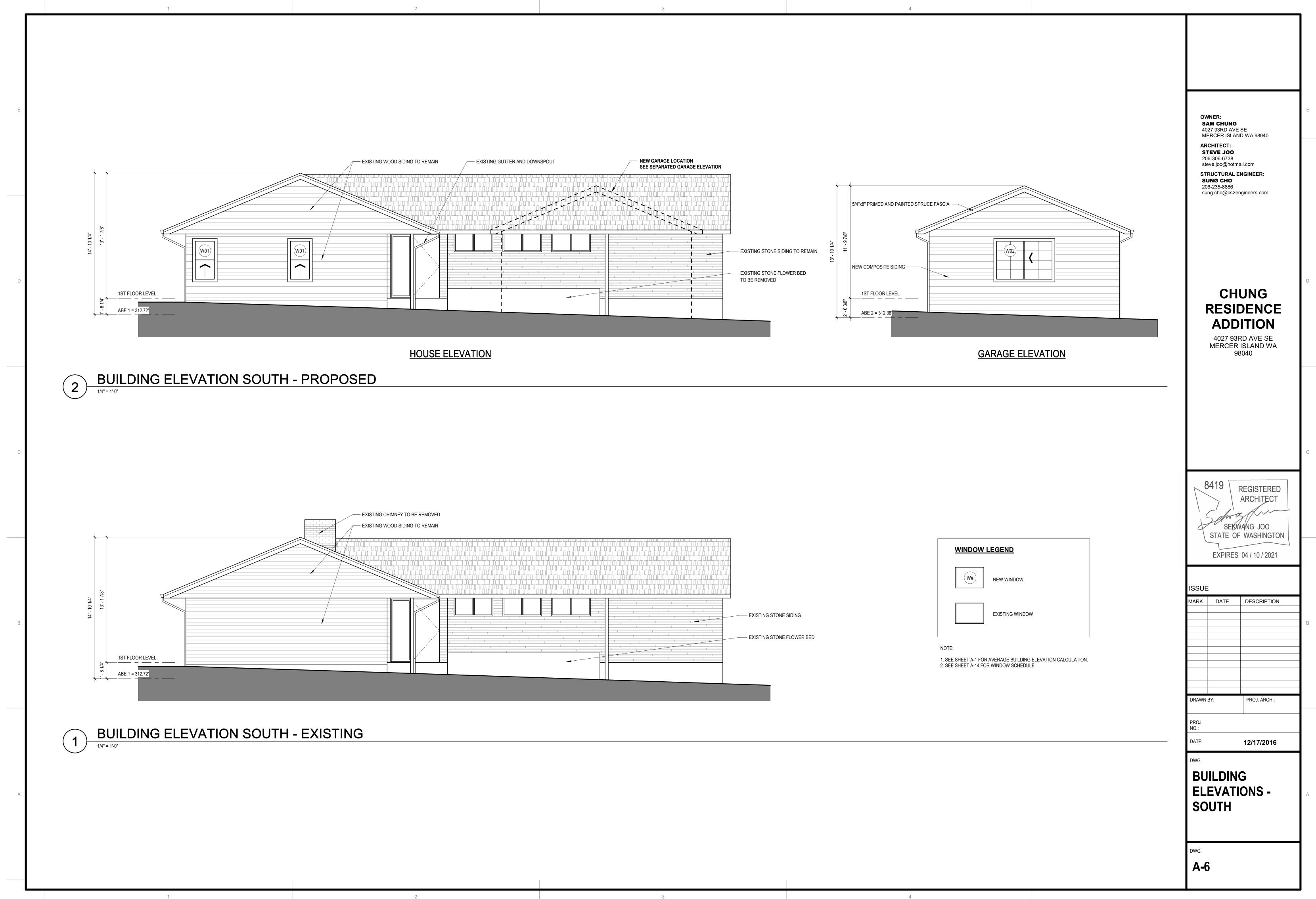
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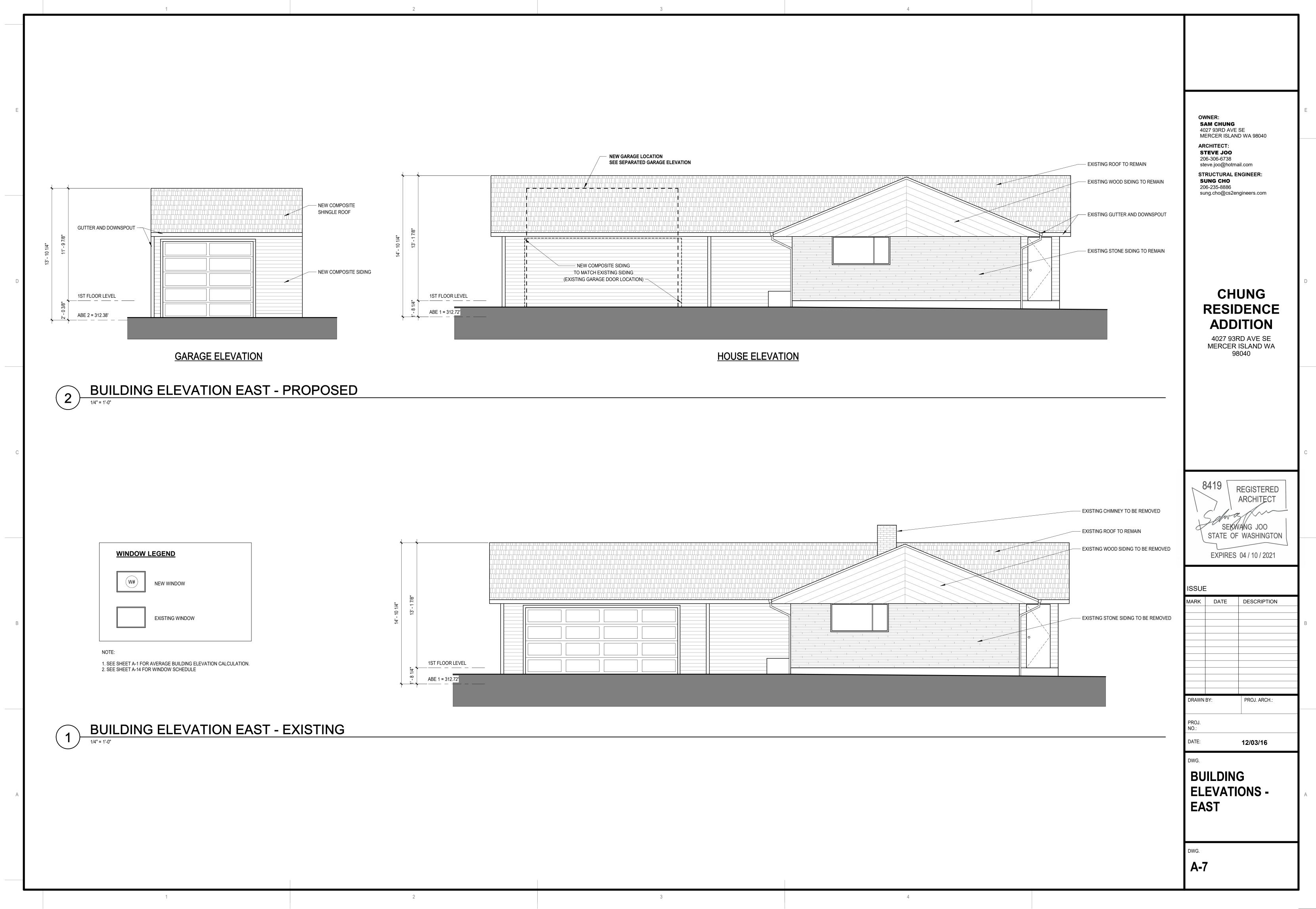
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OWNER:

SAM CHUNG 4027 93RD AVE SE

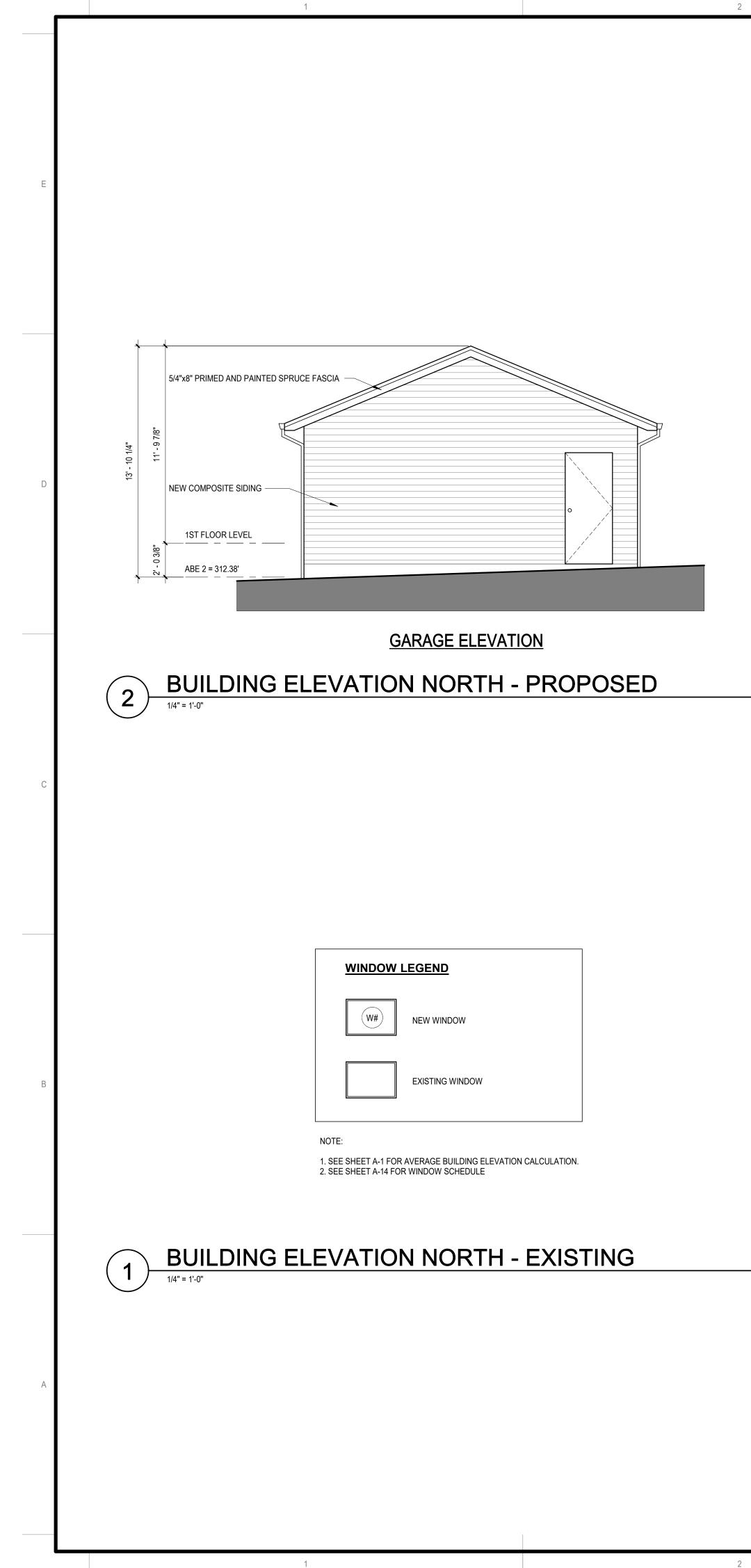


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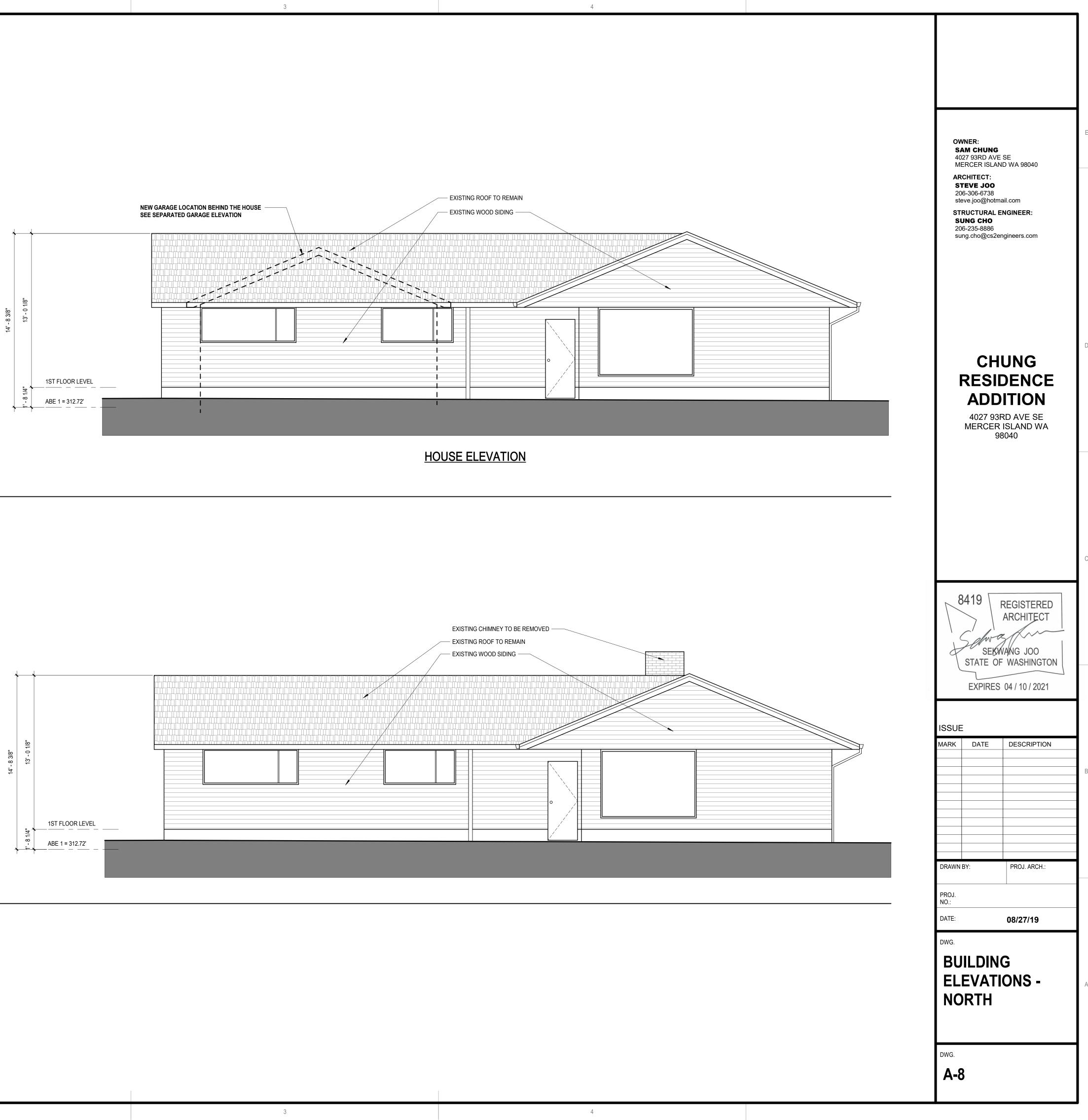


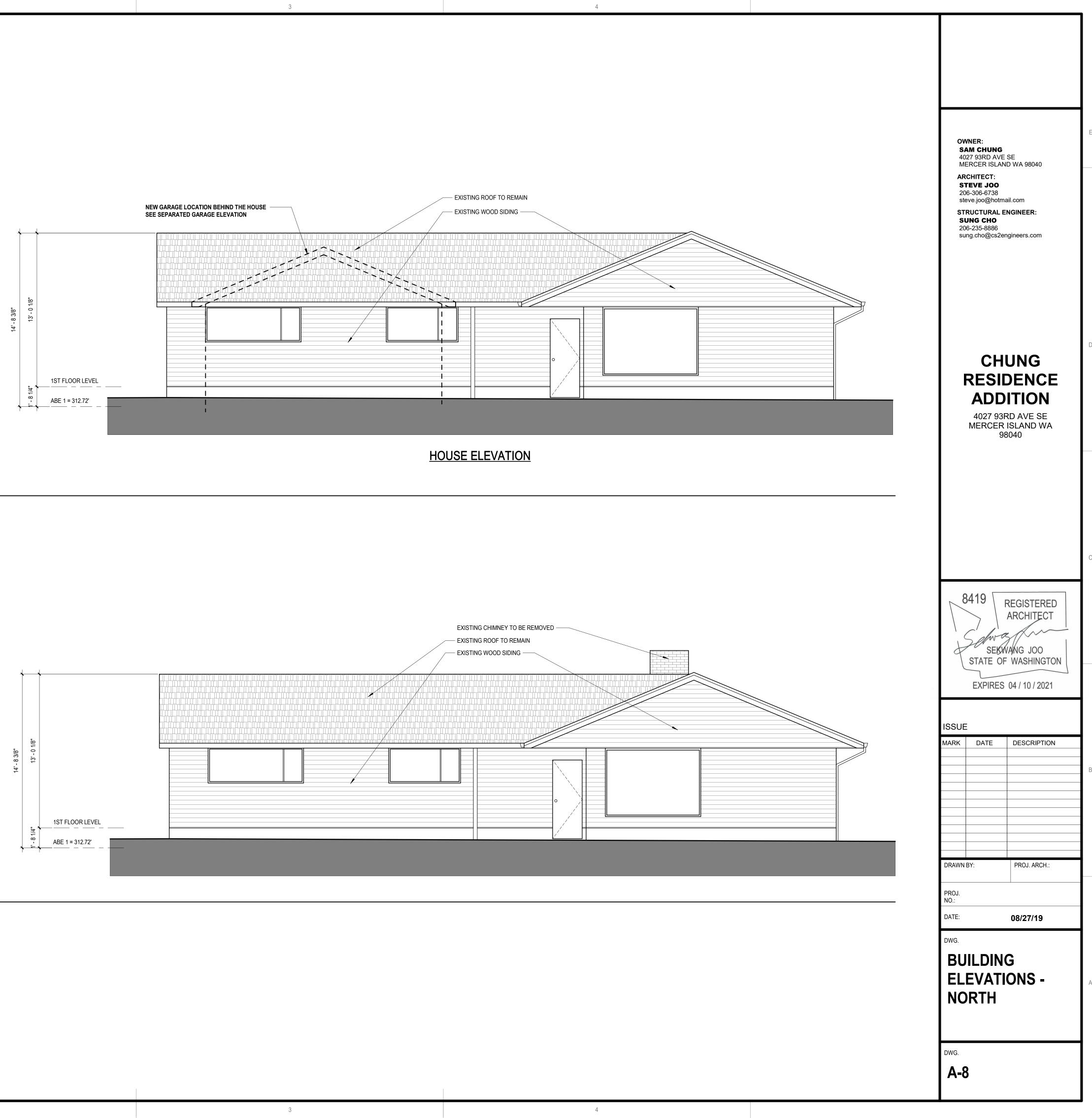
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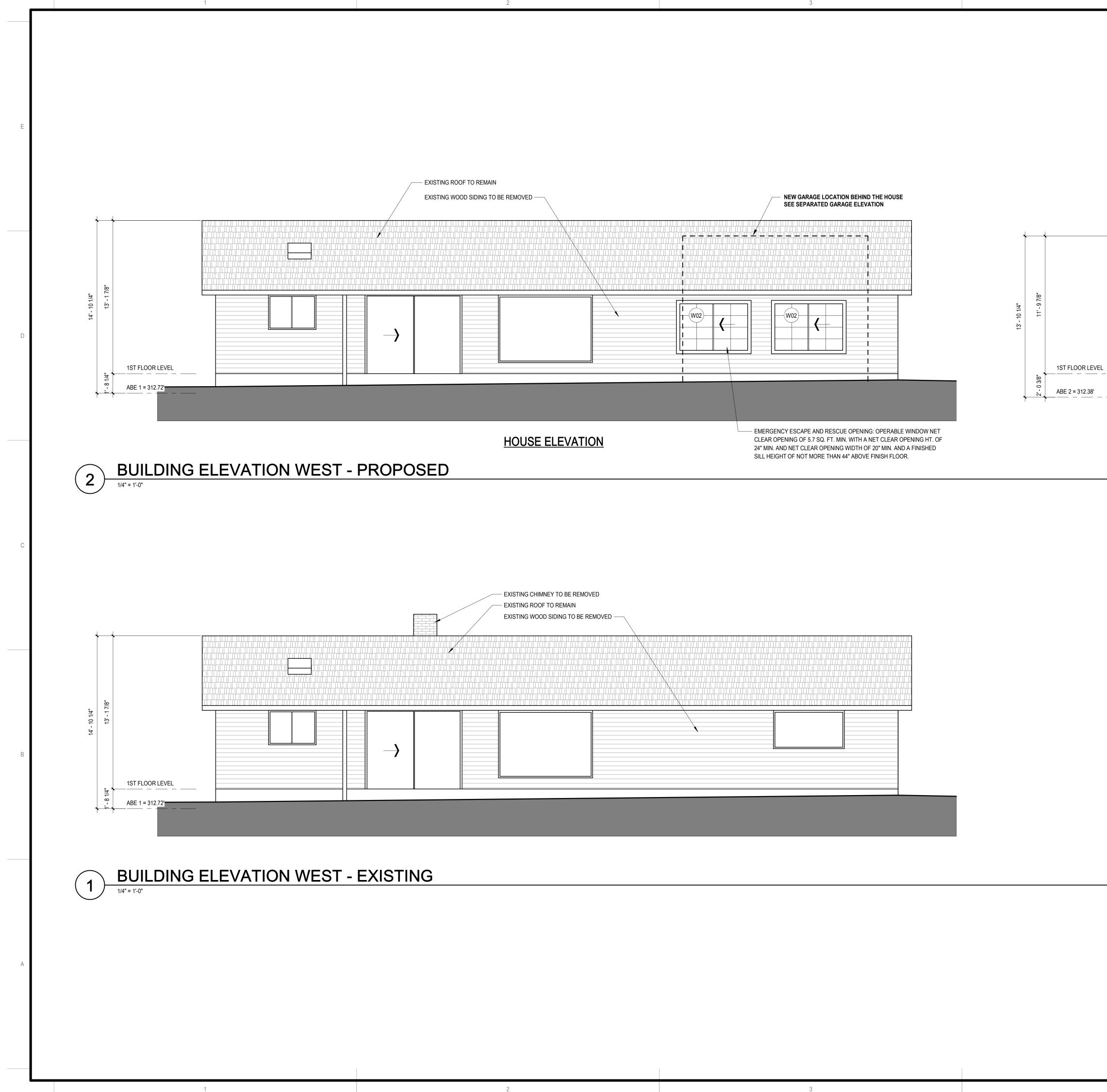
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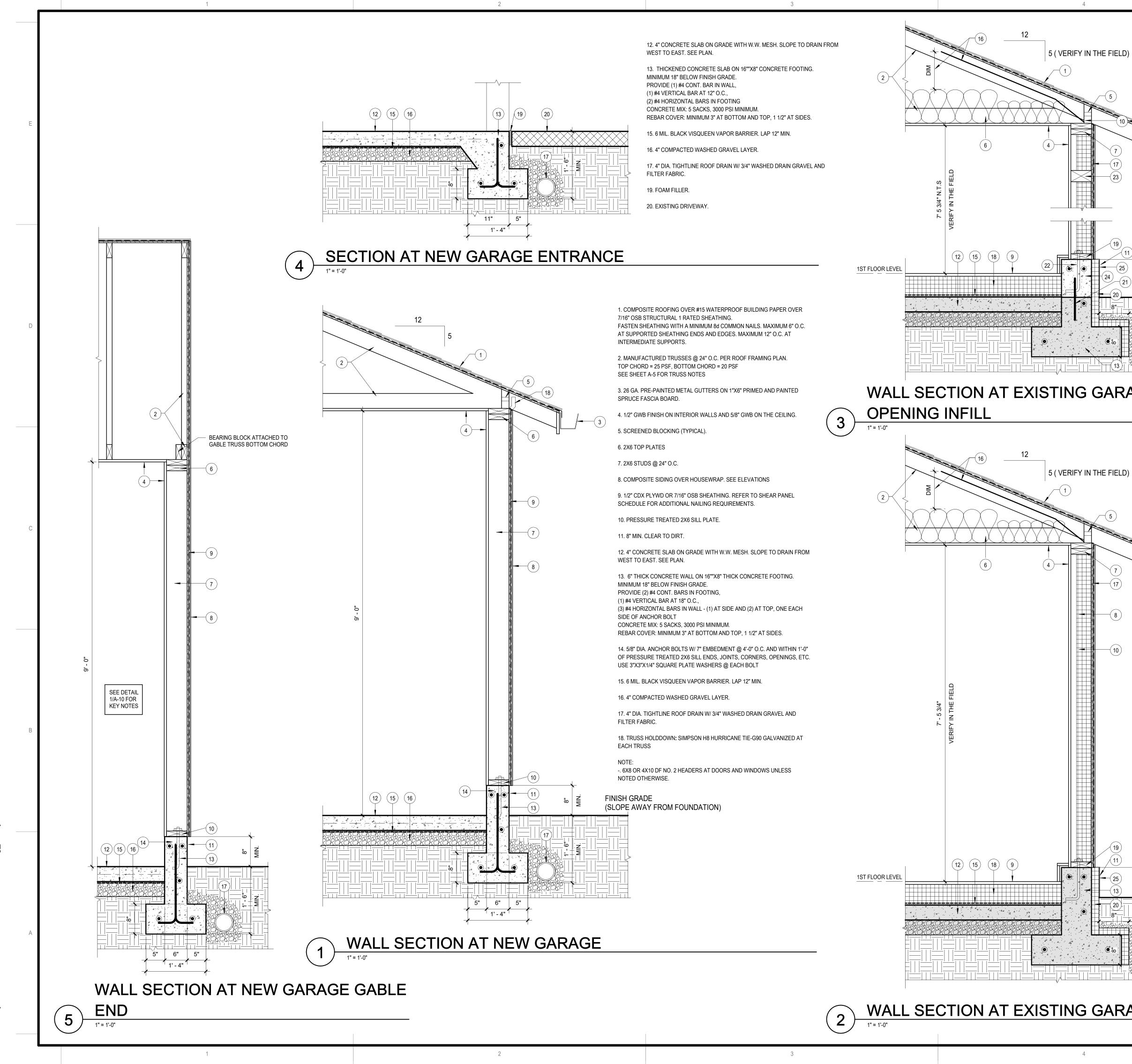






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<image/>	ARCHITECT: STEVE JOO 206-306-673: steve.joo@hd STRUCTURA SUNG CHO 206-235-8886 sung.cho@cs Sung.cho@cs CI RES AD 4027 S	VE SE AND WA 98040 3 otmail.com L ENGINEER:	
WINDOW LEGEND       W#       NEW WINDOW       EXISTING WINDOW	STATE	REGISTERED ARCHITECT KWANG JOO OF WASHINGTON ES 04 / 10 / 2021	E
NOTE: 1. SEE SHEET A.14 FOR WINDOW SCHEDULE SEE SHEET A.14 FOR WINDOW SCHEDULE	DRAWN BY: PROJ. NO.: DATE: DWG. BUILDI ELEVA WEST DWG. DWG.	PROJ. ARCH.: 08/27/19	ŀ



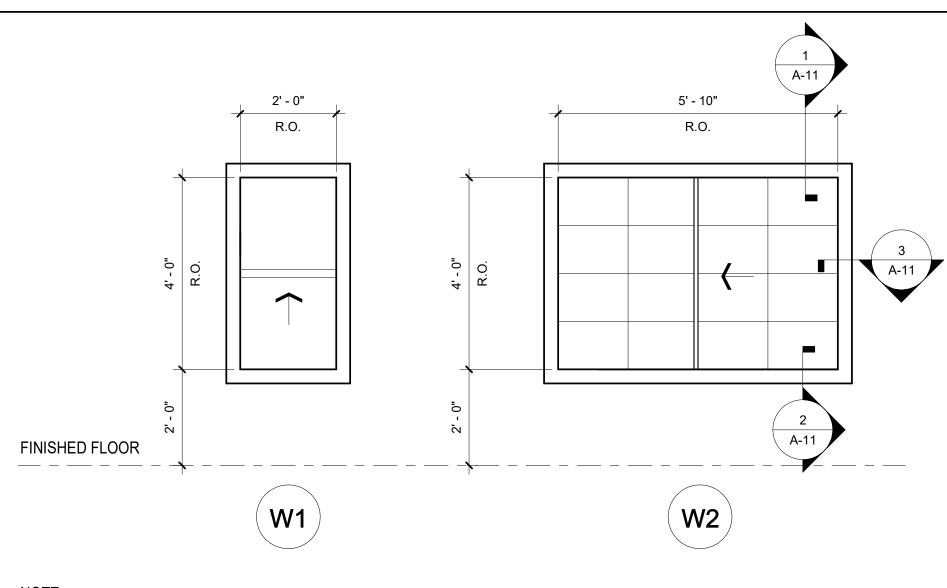
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# WALL SECTION AT EXISTIN 1" = 1'-0"

25. PAINTED METAL FLASHING OVE NOTE: NEW 6X8 OR 4X10 DF NO. 2 HEAD NOTED OTHERWISE.	R RIGID INSULATION. PERS AT DOORS AND WINDOWS UNLESS NO DA N)	NTE: VG.	12/17/2016	A
NOTE: NEW 6X8 OR 4X10 DF NO. 2 HEAD NOTED OTHERWISE.	R RIGID INSULATION. PERS AT DOORS AND WINDOWS UNLESS NO DA N)	).: ITE: VG.		
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NOTE: NEW 6X8 OR 4X10 DF NO. 2 HEAD	R RIGID INSULATION.			
	R RIGID INSULATION.			
			1	
20. NEW R-10 REGID INSULATION, 2		AWN BY:	PROJ. ARCH.:	
19. EXISTING PRESSURE TREATED				
LEVELING PLYWOOD FLOOR.				
BETWEEN, R-28 MINIMUM AT THE H	AT 16" O.C. W/ RIGID INSULATION IN IIGHEST ELEVATION OF EXISTING SLAB, D MATCH SLOPE OF EXISTING SLAB FOR			
17. EXISTING WOOD SIDING.	AT 16" O.C. W/ RIGID INSULATION IN			
				В
16. NEW WIND BAFFLE BETWEEN E		RK DATE 04/29/2017	DESCRIPTION STRUCTURAL REVIEW	
15. NEW 6 MIL. BLACK VISQUEEN V		SUE		ļ
14. EXISTING ROOF DRAIN.				
13. EXISTING CONCRETE FOUNDAT (GRAY HATCHED).	TION WALL ON CONCRETE FOOTING	EXPIRE	S 04/10/2021	
12. EXISTING CONCRETE SLAB ON	GRADE ( GRAY HATCHED ).			
11. 8" MIN. CLEAR TO DIRT.			WANG JOO DF WASHINGTON	
10. NEW R-21 RIGID INSULATION.		Solw	af	
9. NEW 3/4" UL GRADE T&G PLYWO	OD.	$  \rangle  $	ARCHITECT	
7 8. EXISTING 2X4 STUDS	7	8419	REGISTERED	
3 7. EXISTING 2X4 TOP PLATES				
6. NEW R-49 BATT INSULATION AT O SPACE OVER BATTS, VENTS EAVES	CEILINGS. INSURE 1" CONTINUOUS AIR			С
5. EXISTING SCREENED BLOCKING	(TYPICAL).			
4. NEW 1/2" GWB FINISH ON INTERIO	OR WALLS AND 5/8" GWB ON THE CEILING.			
3. EXISTING METAL GUTTERS ON F	ASCIA BOARD.			
1. EXISTING COMPOSITE ROOFING       RIFY IN THE FIELD)       2. EXISTING TRUSSES.	OVER OSB SHEATHING.			
NG GARAGE DOOR		4027 93 MERCEF	BRD AVE SE R ISLAND WA 98040	
			DENCE DITION	
		CH	IUNG	D
FINISH GRADE 24 24 21 50 24 21 50 24 24 21 50 24 21 50 24 21 50 24 21 50 21 50 21 50 21 50 21 50 20 50 20 50 20 50 20 50 20 20 20 20 20 20 20 20 20 2	N)			
NOTED OTHERWISE.	OTES ERS AT DOORS AND WINDOWS UNLESS			
25. PAINTED METAL FLASHING OVE	R RIGID INSULATION.	SUNG CHO 206-235-8886 sung.cho@cs2	engineers.com	
CONCRETE MIX: 5 SACKS, 3000 PSI REBAR COVER: MINIMUM 3" AT BOT		steve.joo@hoti		
(2) #4 HORIZONTAL BARS IN WALL - BOLT	(2) AT TOP, ONE EACH SIDE OF ANCHOR	<b>STEVE JOO</b> 206-306-6738		
PROVIDE (1) #4 VERTICAL BAR AT 18" O.C.,		MERCER ISLA		╞
24. NEW 8" THICK AND 8" TALL CON FOOTING.	NCRETE WALL ON EXISTING CONCRETE	<b>SAM CHUNG</b> 4027 93RD AV	E SE	
23. EXISTING GARAGE DOOR HEAD	PER	OWNER:		Е
USE 3"X3"X1/4" SQUARE PLATE WAY	SHERS @ EACH BOLT			]
	GILL ENDS, JOINTS, CORNERS, OPENINGS,			
22. NEW 5/8" DIA. ANCHOR BOLTS V	<u> </u>			
) SET-XP EPOXY	V/ 7" EMBEDMENT @ 4'-0" O.C. AND WITHIN			1

19. NEW PRESSURE TREATED 2X4 SILL PLATE.

## WINDOW SCHEDULE



### NOTE:

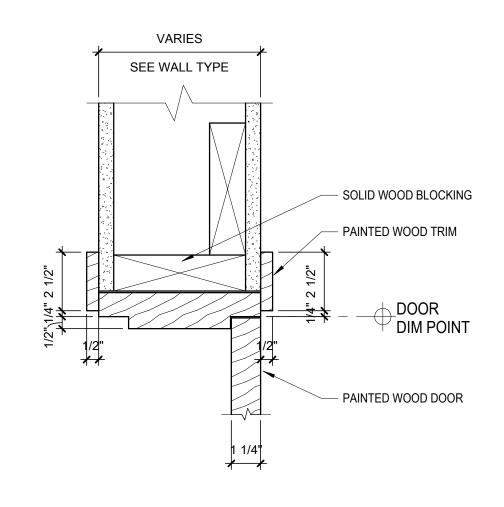
1. VINYL FRAME WINDOWS, JELD-WEN V-4500 SERIES, INSULATED LOW-E CLEAR FLOAT, DOUBLE PANE, AIR FILLED, FRAME COLOR: WHITE, TARGET U-VALUE < 0.3 SEE 5, 6 & 7/ A-11 FOR WINDOW DETAILS

2. TEMPERED GLASS REQUIREMENT: PER IRC R308.4.3 GLAZING IN WINDOWS, GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION. -. THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET, AND

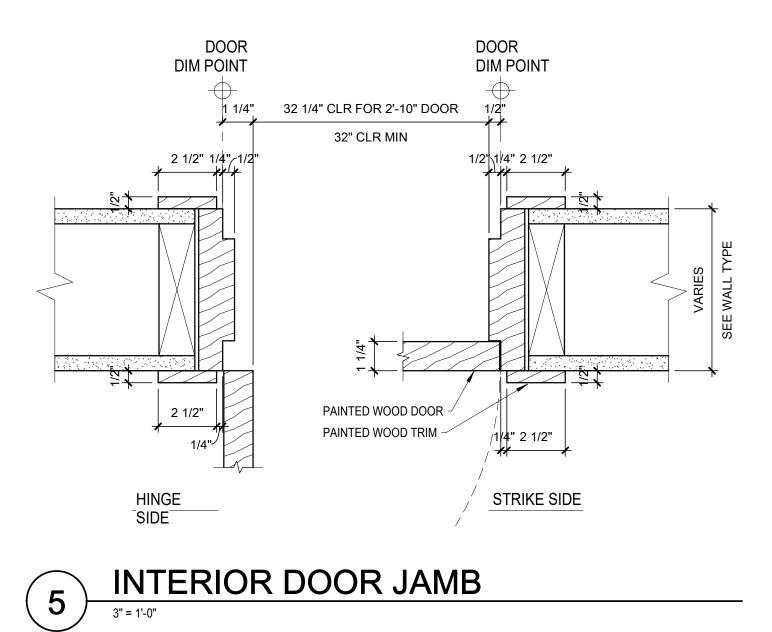
-. THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR, AND -. THE TOP EDGE OF THE GLAZING IS MORE THAN 36 INCHES ABOVE THE FLOOR, AND

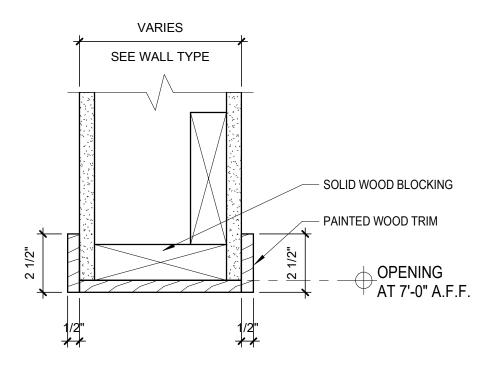
-. ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE



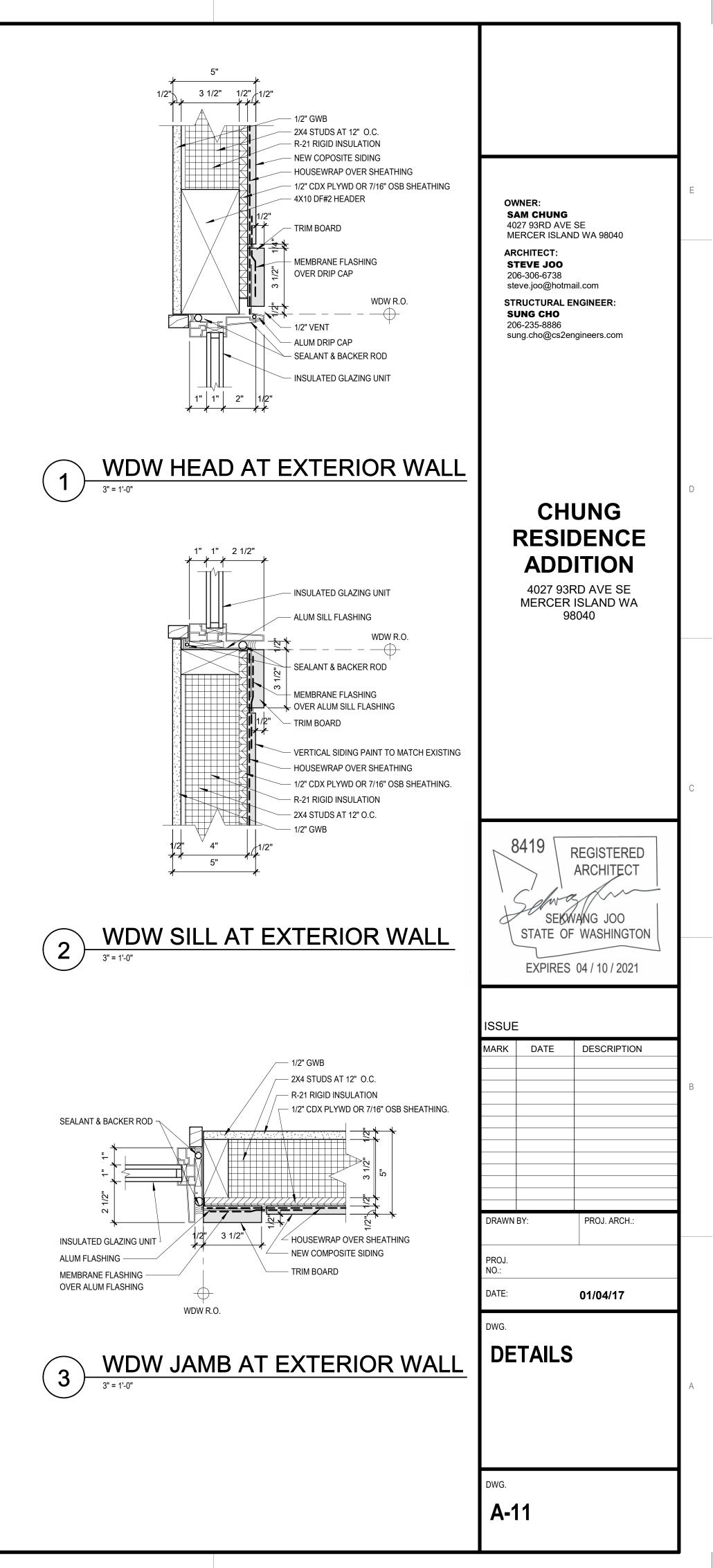












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